



11930 Cyrus Way, Mukilteo, WA 98275
 Phone: (425) 263-8000
<http://mukilteowa.gov/>



Received by Email

4/11/2023

**Application For Alternate Material,
 Design, or Method of Construction**
 Deviation Request Per 2019 Development Standards Section 1.5

In accordance with Section 1.5 of the City of Mukilteo Development Standards, the following information is being presented in support of a request for deviation. No deviation request will be considered until a complete permit application has been submitted. **Applicant must describe how the request meets the required criteria, by providing the requested information below.**

	Property Owner	Petitioner/Applicant
Name		
Address		
City, State Zip		
Daytime Phone		
E-Mail Address		

Project Name: _____

Project Address: _____

Applicable Development Standards Section: _____

Description of Requested Deviation:

We are requesting a variance from standard parking and driving lane sizes within the project Parking Garage on Level P1 (accessed from the alley). We believe that the sizes we show on Drawing A1.10 reflect realistic sizes for Structured Residential parking. Whereas the city standards reflect more appropriate sizing for on grade short time parking. The 30 parking spaces shown on Drawing A1.10 is for a Parking Garage for residents of the 14 units of the Mixed Use project. Of these, 1 stall is ADA van: 9'x'19' (with 5' wide adjacent access aisle), 17 stalls are medium size vehicles: 8'x16', and 12 are large size vehicles: 8'-6"x19'. We looked at Seattle Municipal Code section 23.54.030 (excerpt attached) which provides the definitions of medium and large size vehicle stalls. We feel that the SMC sizes more closely align with the intent of the Structured Garage parking.

Attachments: (Plans, reports and additional sheets may be necessary to illustrate how the request meets the requirements.) List all attachments applicable to the request:

Justification (If there is not enough room to answer the question, please use additional sheets)

1. Describe how the deviation conforms to the intent and purpose of the Mukilteo Municipal Code:

MMC 17.56.100 specifically refers to 'off street parking' but does not address Structured Parking, which is very different. We believe Seattle Municipal Code sizes better suit the parking environment in a gated residential garage setting. We also feel that our aisle sizes are suitable for Structured Parking, though slightly smaller than MMC 17.56.100 prescribes.

2. Describe how the deviation will not adversely affect the implementation of the Comprehensive Plan adopted in accordance with State Law:

The garage parking does not adversely affect the Comprehensive Plan as it is used only by residents of the building, and not the general public. The parking spaces along Third Street, which are for public use, do comply with MCC 17.56.100 sizing.

3. Describe how the deviation produces a comparable result which is in the public interest:

The public will have access to parking on the street, while the Parking Garage will be used only by residents of the building.

4. Describe how the deviation will not impact future expansion, development, or redevelopment:

Since the Parking Garage is not for public use, there will be no impact on future expansion, development, or redevelopment.

5. Describe how the deviation considers maintenance costs in the design, and show how costs are not excessive or are borne and reliably performed by the applicant or property owner:

The Parking Garage will be maintained and served by the building owners.

6. Describe how the deviation provides the least possible deviation from the requirements:

The parking stall and aisle sizes we are proposing are not drastically different for the standards given by MMC 17.56.100 for 'off street parking.'

7. Describe how the deviation provides equivalent environmental protection.

The deviation will have no effect on environmental protection, other than to permit several more vehicles to park in the Parking Garage.

8. Show how the deviation meets sound Engineering practices to meet the objectives of safety, function, environmental protection and facility maintenance.

The Parking Garage is a sound solution to providing the required resident parking for the project. It provides safe, functional parking for residents of the building.

9. Deviations from road standards require evidence of concurrence from the Mukilteo Fire Marshal. Check the box that applies to this request:

- This is not a deviation from a road standard.
- This is a deviation from a road standard; and evidence of concurrence from the Mukilteo Fire Marshal is attached.

10. If this is a deviation from a stormwater standard, describe how deviation is not detrimental to the public health and welfare, is not injurious to other properties in the vicinity and/or downstream of the property, and are not injurious to the quality of waters of the state.

N/A

11. Check the appropriate box related to Stormwater Minimum Requirements: N/A

- The project does not meet the threshold for any Stormwater Minimum Requirements
- The project will meet all applicable Stormwater Minimum Requirements
- The project will not meet all applicable Stormwater Minimum Requirements

Any deviation request concerning a provision of the International Fire Code requires concurrence by the City of Mukilteo Fire Marshal. Documentation of concurrence by the Fire Marshal must be submitted with the request.

The Public Works Director or designee reserves the right to direct or deny a deviation from the Mukilteo Development Standards at any time in the interest of public health, safety, and welfare.

I certify that I am the owner or owner's agent and have the authority to request the above stated alternate materials, methods of construction, or modification in the Development Standards. I certify that the information presented as part of this request is true and accurate. I understand that this request is subject to review and may be approved or denied in part or in whole. The City of Mukilteo's decision will be in writing and will be specific to this request, unless otherwise noted, and is based solely on the facts included with this request.

Signature <i>Alison Musch</i>	Title <i>ARCHITECT</i>	Date <i>1/27/2023</i>
Print Name <i>Alison Musch</i>		

FOR STAFF USE ONLY

- Proposed design complies with the intent of the provisions of the current Mukilteo Municipal Code
- The material or method proposed is equivalent to criteria listed in Development Standards Section 1.5

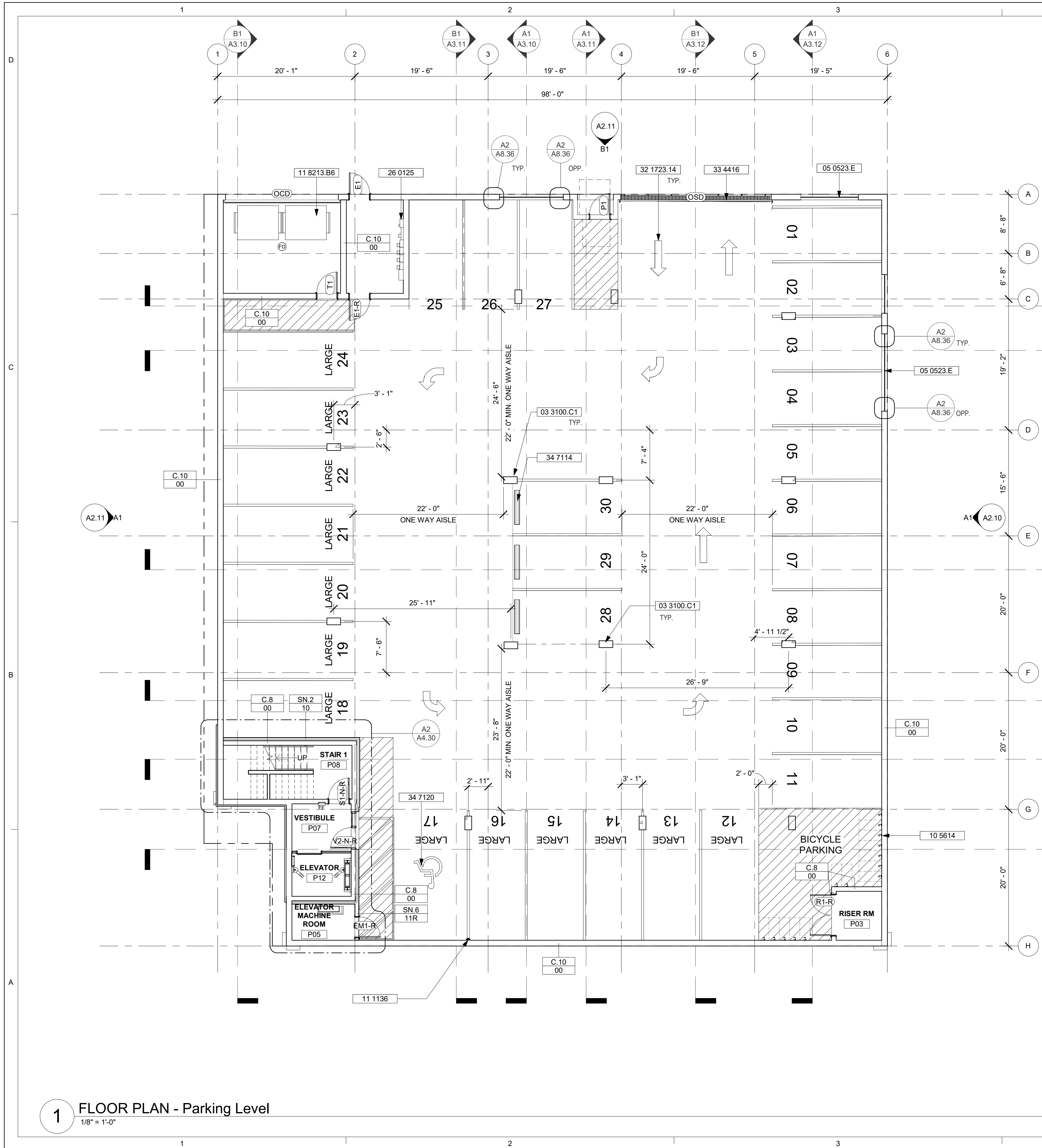
DETERMINATION

This request is: Granted Granted with Conditions of Approval Denied

CONDITIONS OF APPROVAL:

Public Works Director or Designee _____

Date _____



GENERAL NOTES - PLANS

- A. EXTERIOR DIMENSIONS ARE TO THE OUTSIDE FACE OF CONCRETE FOUNDATION WALLS, OR FACE OF WOOD STUDS UNLESS OTHERWISE NOTED. DIMENSIONS TO MASONRY UNITS ARE NOMINAL UNLESS OTHERWISE NOTED.
- B. INTERIOR DIMENSIONS ARE TO THE FACE OF STUDS AT FRAMED WALLS, AND TO CENTERLINE OF COLUMNS UNLESS OTHERWISE NOTED.
- C. DIMENSIONS LOCATING DOORS, WINDOWS AND RELIGHTS ARE TO FINISH OPENING UNLESS NOTED OTHERWISE.
- D. SEE WALL TYPES ON SHEETS A1.00 FOR TYPICAL WALL CONSTRUCTION ASSEMBLIES.
- E. ALL NON-BEARING WALLS ARE FULL HEIGHT TO UNDERSIDE OF ROOF DECK OR FLOOR FRAMING ABOVE.
- F. APPLY TWO (2) CONTINUOUS SEALANT BEADS BENEATH STUD TRACK AT ALL EXTERIOR STUD WALLS.
- G. CONTRACTOR SHALL PROVIDE CONTINUOUS HORIZONTAL BLOCKING AS REQUIRED AT ALL WALL MOUNTED LAVATORIES, DRINKING FOUNTAINS, CASEWORK, MIRRORS, HANDRAILS, ETC. REFER TO ARCHITECTURAL INTERIOR ELEVATIONS AND MECHANICAL DRAWINGS.
- H. SEE DRAWING A6.01 FOR TYPICAL MOUNTING HEIGHTS FOR WALL MOUNTED ACCESSORIES, BLOCKING, AND EQUIPMENT.
- I. SEE REFLECTED CEILING PLAN FOR CEILING MOUNTED EQUIPMENT.
- J. CONFIRM ACCESSIBILITY CLEARANCE REQUIREMENTS AS NOTED ON SHEETS A6.01 AND A6.02.
- K. REFER TO SHEET A7.10 FOR TYPICAL DOOR CLEARANCES.
- L. ANGLES ARE 30 DEGREES, 45 DEGREES, OR 90 DEGREES U.N.O.
- M. SEAL AROUND ALL PENETRATIONS AT FIRE RATED WALLS, INCLUDING BUT NOT LIMITED TO PIPING, DUCTS, CONDUIT, ETC., WITH FIRESTOPPING PER I.B.C. REQUIREMENTS.
- N. SEE EXTERIOR ELEVATIONS FOR WINDOW AND LOUVER TYPES AND DETAILS.
- O. SEE ENLARGED PLANS FOR ADDITIONAL DIMENSIONAL AND NOTE INFORMATION.
- P. RAILING COMPONENTS ARE SHOWN DIAGMATICALLY IN PLANS AND ELEVATIONS AND SHOULD NOT BE USED AS DIRECTION FOR FABRICATION U.N.O. REFER TO RAILING DETAILS FOR ACCURATE LOCATIONS AND DIMENSIONS OF RAILING COMPONENTS.

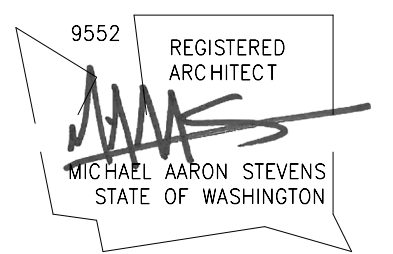
KEYNOTE LEGEND

KEYNOTE	KEYNOTE TEXT
03 3100.C1	C.I.P. CONCRETE COLUMN
05 0523.E	WIRE MESH PANEL
10 5614	WALL MOUNTED BIKE RACKS
11 1136	EV CHARGING STATION FOR 2 VEHICLES (INFRASTRUCTURE ONLY)
11 8213.B6	6-YD DUMPSTER
26 0125	ELECTRICAL PANELS
32 1723.14	PAINTED DIRECTIONAL ARROW
33 4416	PREFABRICATED TRENCH FORMING DRAIN
34 7114	CONC. WHEEL STOP
34 7120	VAN ACCESSIBLE SPACE PAINTED MARK



CONSULTANT:

REGISTRATION STAMPS:



PROJECT IDENTIFICATION:

**Williams Invest -
Third and Park**
FOR
**5J WILLIAMS
FAMILY LLC**
AT
**3RD & PARK AVE
MUKILTEO, WA 98275**

**BUILDING PERMIT
01/30/2023**

This drawing is:
1. Copyright 2023 Dykeman, Inc.
2. The Architect's Instrument of Professional Service.
3. For use on this project only. Obtain Architect's written permission for any other use or reproduction.

PROJECT NUMBER:

2021-042

REVISIONS:

MARK	DATE	DESCRIPTION
	01/30/2023	BUILDING PERMIT

PROJECT TEAM:

PRINCIPAL IN CHARGE: MAS
PROJECT MANAGER: AM
PROJECT ARCHITECT: WDH
JOB CAPTAIN: SZ

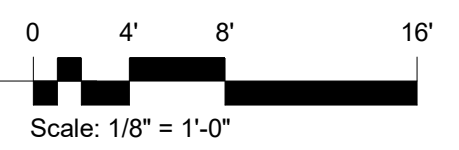
DRAWING TITLE:

**FLOOR PLAN - PARKING
LEVEL**

DRAWING NUMBER:

A1.10

1 FLOOR PLAN - Parking Level
1/8" = 1'-0"



23.54.030 - Parking space and access standards

modified



All parking spaces provided, whether required by [Section 23.54.015](#) or not, and required barrier-free parking, shall meet the standards of this [Section 23.54.030](#).

A. Parking space dimensions

1. "Large vehicle" means the minimum size of a large vehicle parking space shall be 8.5 feet in width and 19 feet in length.
2. "Medium vehicle" means the minimum size of a medium vehicle parking space shall be 8 feet in width and 16 feet in length.
3. "Small vehicle" means the minimum size of a small vehicle parking space shall be 7.5 feet in width and 15 feet in length.
4. "Barrier-free parking" means a parking space meeting the following standards:
 - a. Parking spaces shall not be less than 8 feet in width and shall have an adjacent access aisle not less than 5 feet in width. Van-accessible parking spaces shall have an adjacent access aisle not less than 8 feet in width. Where two adjacent spaces are provided, the access aisle may be shared between the two spaces. Boundaries of access aisles shall be marked so that aisles will not be used as parking space.
 - b. A minimum length of 19 feet or when more than one barrier-free parking space is provided, at least one shall have a minimum length of 19 feet, and other spaces may be the lengths of small, medium, or large spaces in approximate proportion to the number of each size space provided on the lot.
5. "Tandem parking" means a parking space equal to the width and two times the length of the vehicle size standards in subsections 23.54.030.A.1, 23.54.030.A.2, and 23.54.030.A.3 for the size of the vehicle to be accommodated.
6. No wall, post, guardrail, or other obstruction, or lot line, is permitted within the area for car door opening. Columns or other structural elements may encroach into the parking space a maximum of 6 inches on a side, except in the area for car door opening 5 feet from the longitudinal centerline, or 4 feet from the transverse centerline of a parking space (see Exhibit A for [23.54.030](#)).
7. If the parking space is next to a lot line and the parking space is parallel to the lot line, the minimum width of the space is 9 feet.