

GENERAL NOTES - PLANS

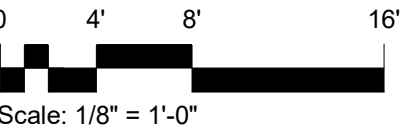
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- H. SEE DRAWING **A6.01** FOR TYPICAL MOUNTING HEIGHTS FOR WALL MOUNTED ACCESSORIES, BLOCKING, AND EQUIPMENT.
- I. SEE REFLECTED CEILING PLAN FOR CEILING MOUNTED EQUIPMENT.
- J. CONFIRM ACCESSIBILITY CLEARANCE REQUIREMENTS AS NOTED ON SHEETS **A6.01 AND A6.02**.
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KEYNOTE LEGEND

KEYNOTE	KEYNOTE TEXT
03 3100.C1	C.I.P. CONCRETE COLUMN
05 0523.E	WIRE MESH PANEL
10 5614	WALL MOUNTED BIKE RACKS
11 1136	EV CHARGING STATION FOR 2 VEHICLES (INFRASTRUCTURE ONLY)
11 8213.B6	6-YD DUMPSTER
26 0125	ELECTRICAL PANELS
32 1723.14	PAINTED DIRECTIONAL ARROW
33 4416	PREFABRICATED TRENCH FORMING DRAIN
34 7114	CONC. WHEEL STOP
34 7120	VAN ACCESSIBLE SPACE PAINTED MARK



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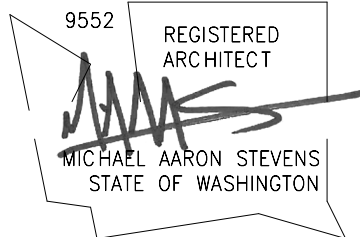


ARCHITECTURE + DESIGN

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425.259.3161 (T) | 2nd Floor / Everett, WA 98201

CONSULTANT:

REGISTRATION STAMPS:



PROJECT IDENTIFICATION:

Williams Invest -  
Third and Park  
FOR  
5J WILLIAMS  
FAMILY LLC  
AT  
3RD & PARK AVE  
MUKILTEO, WA 98275

BUILDING PERMIT  
01/30/2023

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PROJECT NUMBER:

2021-042

REVISIONS:

MARK	DATE	DESCRIPTION
	01/30/2023	BUILDING PERMIT

PROJECT TEAM:

PRINCIPAL IN CHARGE: MAS  
PROJECT MANAGER: AM  
PROJECT ARCHITECT: WDH  
JOB CAPTAIN: SZ

DRAWING TITLE:

FLOOR PLAN - PARKING  
LEVEL

DRAWING NUMBER:

A1.10

1 FLOOR PLAN - Parking Level  
1/8" = 1'-0"

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KEYNOTE LEGEND

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03 3054	DECORATIVE STAMPED CONCRETE, TYP. AT PRIMARY ENTRIES
05 5202	CABLE RAIL GUARDRAIL PER MFR
05 5213.A1	1 1/2" DIAM. HOT DIP GALVANIZED HANDRAIL
06 1001.B1	WOOD COLUMN PER STRUCTURAL
011	EXISTING SIDEWALK
11 2900	POSTAL, PACKAGING, AND SHIPPING EQUIPMENT
012	ARCHITECTURAL SEAT WALL
013	PROPERTY LINE
014	LINE OF ADJACENT BUILDING
22 1424	DRAINAGE GRILLE
26 1201	PUD TRANSFORMER AND VAULT
27 4117	FUTURE INTERCOM/CALL SYSTEM DIRECTORY LOCATION, COORDINATE W/ ELECTRICAL

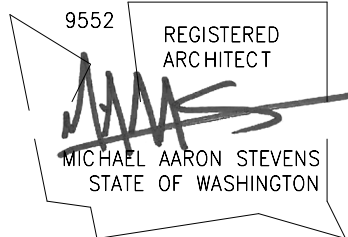


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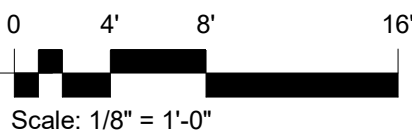
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JOB CAPTAIN: SZ

DRAWING TITLE:

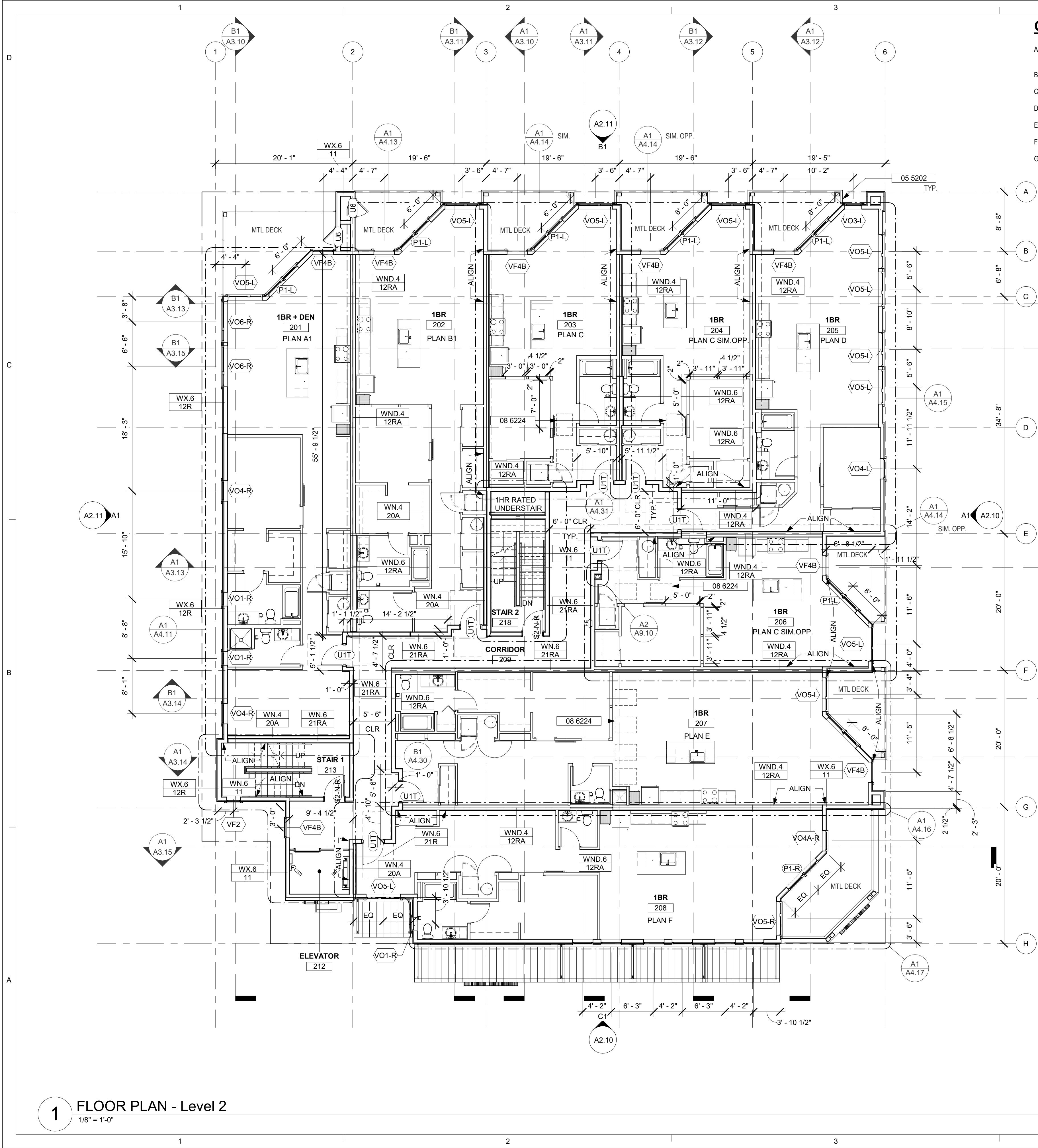
FLOOR PLAN - LEVEL 1

DRAWING NUMBER:

A1.11



1 FLOOR PLAN - Level 1  
1/8" = 1'-0"



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## KEYNOTE LEGEND

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05 5202	CABLE RAIL GUARDRAIL PER MFR

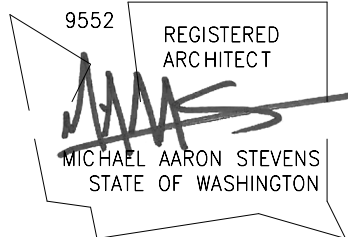


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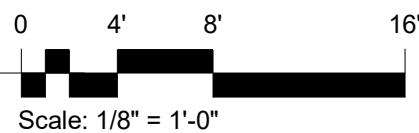
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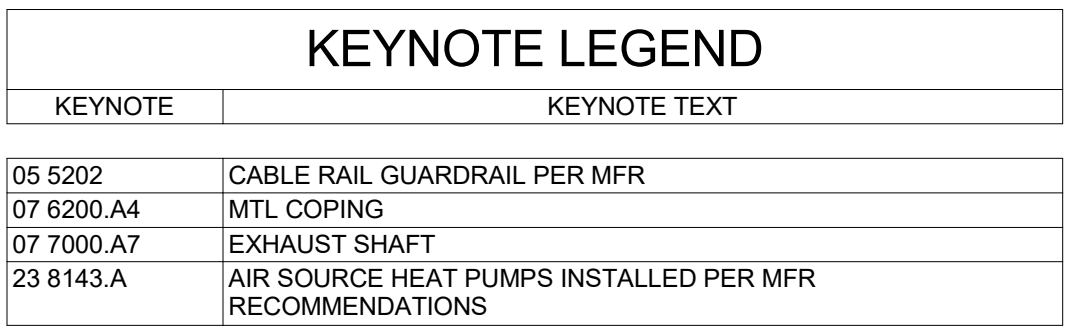
FLOOR PLAN - LEVEL 2

DRAWING NUMBER:

A1.12







A. ROOF DETAILS - REFER TO **A6.30** SECTION SHEETS

B. ROOF ELEVATIONS SHOW THIS (XY-Z) ARE TO TOP OF DECK MEASURED FROM FINISH FLOOR

C. REFER TO STRUCTURAL DRAWINGS ELEVATIONS

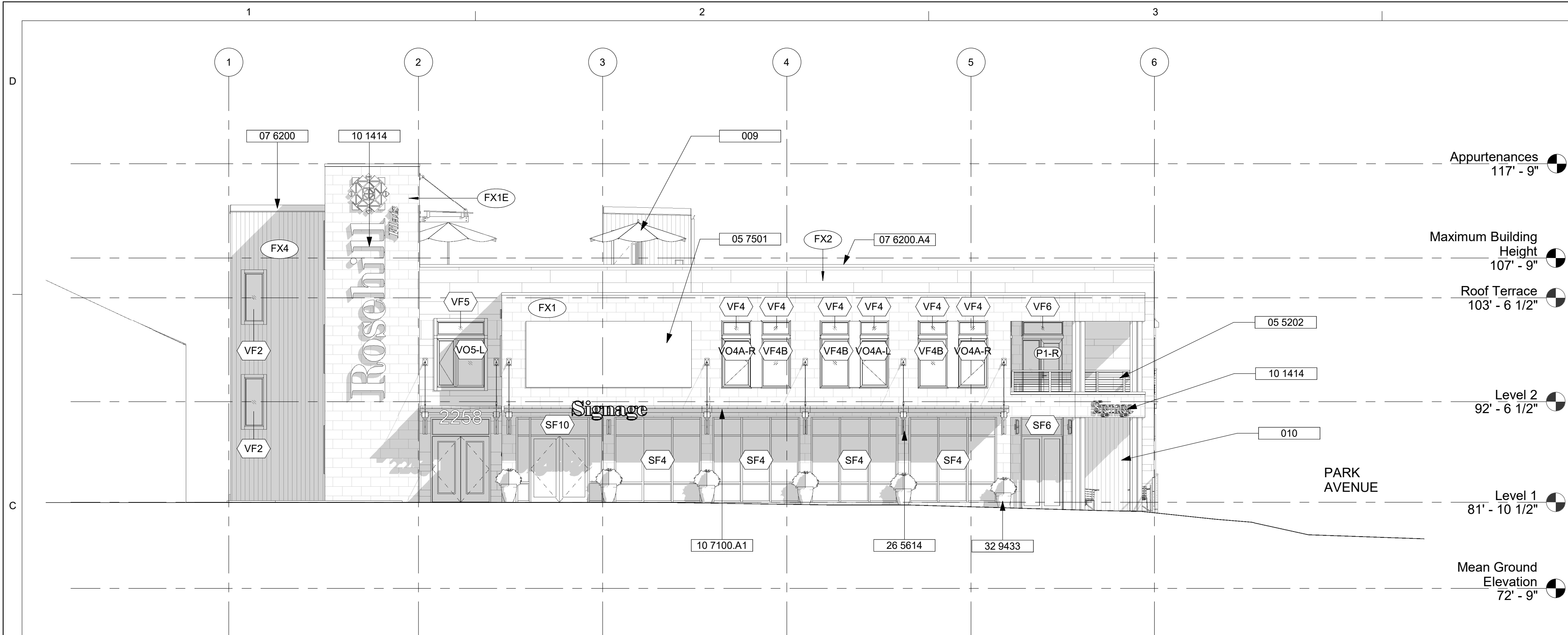
D. SPECIFY ADJACENT HEIGHT AS REQUIRED TO PROVIDE THE SLOPES INDICATED.

E. PROVIDE TAPERED INSULATION CRICKETS CREATING POSITIVE DRAINAGE TO SCUPPER OPENINGS.

F. IN ADDITION TO OPENINGS AND PENETRATIONS SHOWN ON THIS DRAWING, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS ALSO INDICATE ITEMS PENETRATING THE ROOF MEMBRANE. REFER TO ROOF MANUFACTURERS STANDARD DETAILS FOR FLASHING AND INSTALLATION INSTRUCTIONS.

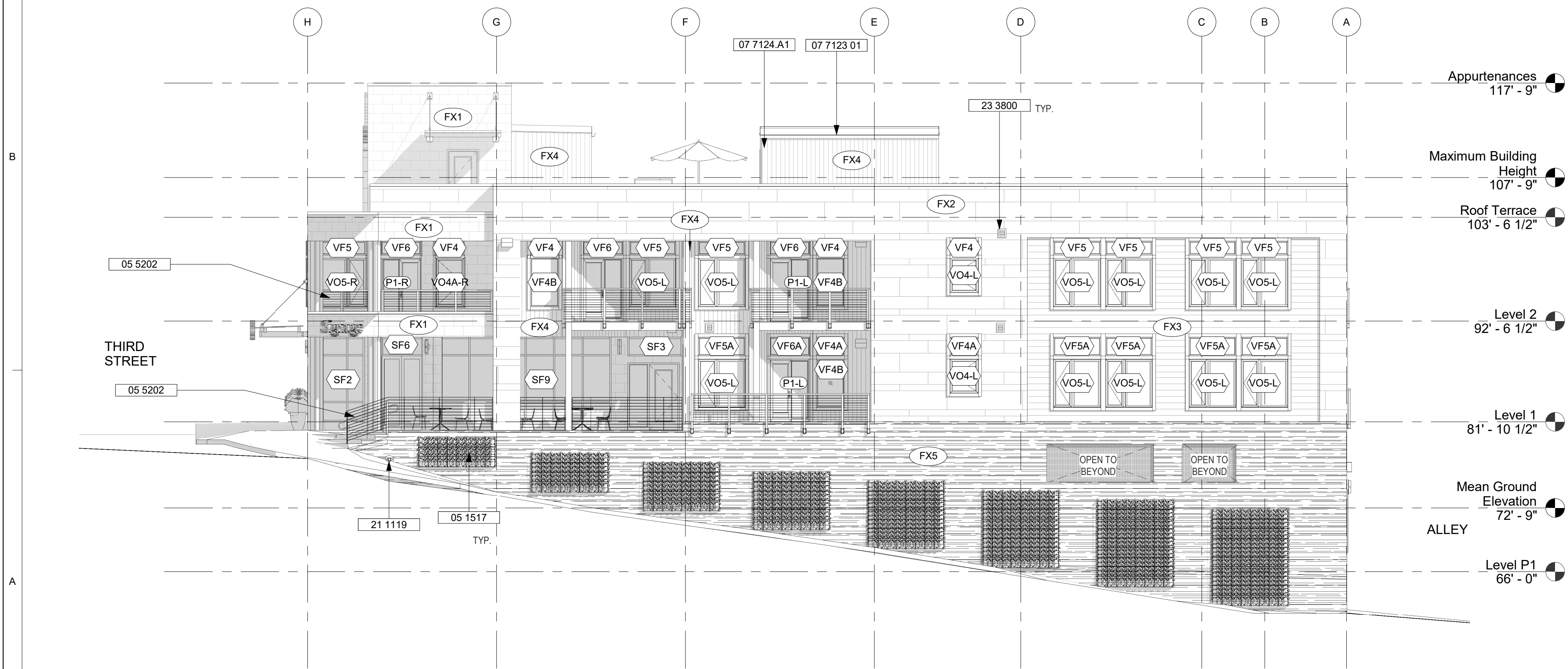


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C1 Elevation - South (3rd Street)

1/8" = 1'-0"



A1 Elevation - East (Park Avenue)

1/8" = 1'-0"

## GENERAL NOTES - EXTERIOR ELEVATIONS

- A. EXTERIOR MATERIAL TYPES - REFER TO **MATERIAL LEGEND** THIS SHEET.  
B. DOWNSPOUTS SUPPORTS - FOR DOWNSPOUTS UP TO 12'-0" IN LENGTH PROVIDE 2 PREFINISHED METAL STRAPS (TOP AND BOTTOM), 12'-0" AND LONGER PROVIDE 3 PREFINISHED METAL STRAPS (TOP, MIDDLE AND BOTTOM).  
C. WALL TYPES - SEE SHEET **A1.00**  
D. WINDOW TYPES & GLAZING IDENTIFICATION - REFER TO WINDOW SCHEDULE ON SHEET **A7.20**  
E. EXTERIOR DETAILS - SEE **A8.00** SERIES SHEETS  
F. KNOX BOX - PROVIDE A KNOX BOX AS SPECIFIED. COORDINATE LOCATION WITH THE OWNER AND THE FIRE MARSHAL

KEYNOTE LEGEND	
KEYNOTE	KEYNOTE TEXT
05 1517	CABLE TRELLIS ASSEMBLY
05 5202	CABLE RAIL GUARDRAIL PER MFR
05 7501	DECORATIVE SHEET METAL, COLOR TO MATCH WINDOWS TRIM
07 6200	SHEET METAL FLASHING AND TRIM
07 6200.A4	MTL COPING
07 7123.01	PREFINISHED GUTTER
07 7124.A1	DOWNSPOUT, TYP.
009	ROOF TERRACE AMENITY FURNITURE, TBD.
010	PROPOSED ART LOCATION MMC 17.25A.040.B.6.B.VIII
10 1414	EXTERIOR SIGNAGE, TBD
10 7100.A1	WOOD TIMBER CANOPY WITH CORRUGATED METAL ON TOP, TIE ROD BACK TO 4X6 WOOD POST IN WALL
21 1119	FIRE DEPARTMENT CONNECTION, VFY LOCATION W/ FIRE DEPT.
23 3800	VENTILATION HOODS
26 5614	WALL SCONCES
32 9433	PLANTERS

## MATERIAL LEGEND - EXTERIOR ELEVATIONS

	<b>FX1</b> STONE VENEER
	<b>FX2</b> FIBER CEMENT PANEL
	<b>FX3</b> FIBER CEMENT LAP SIDING 7" EXPOSURE
	<b>FX4</b> WOOD-LOOK VERTICAL SHIP-LAP SIDING
	<b>FX5</b> CONCRETE - CAST-IN-PLACE BOARD-FORM FINISH

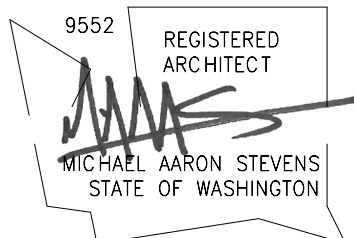
SEE - FINISH MATERIAL KEY ON SHEET **AX.XX** FOR PAINT COLORS.



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PROJECT MANAGER: AM  
PROJECT ARCHITECT: WDH  
JOB CAPTAIN: SZ

DRAWING TITLE:

**EXTERIOR ELEVATIONS**

DRAWING NUMBER:

**A2.10**





## SITE INFORMATION

Parcel Number(s): 00596900300601  
Legal Description(s): Section 4 Township 28 Range 4 Quarter NE THOMAS ADDITION BLK 003 D-00- PAR 1 PER CITY OF MUK LLA REC UND AFN 201610270134 & AS DEPICTED ON ROS REC UND AFN 201610275001; BEING A PTN OF LOTS 6 & 7OF EXST PLAT  
Building Address: 3RD & PARK AVE MUKILTEO, WA 98275  
Owner: 5J WILLIAMS FAMILY LLC  
Owner Address: 19801 50TH AVE W LYNNWOOD, WA 98036-6416  
Owner Phone: (425) 355 0353  
Zoning Area: DB  
Zoning Designation: DOWNTOWN BUSINESS DISTRICT

## DEFERRED SUBMITTALS

- FIRE SERVICE MAIN PERMIT
- NFPA 13 FIRE SPRINKLER SYSTEM PERMIT
- FIRE ALARM SYSTEM PERMIT
- MECHANICAL PERMIT
- ELECTRICAL PERMIT
- PLUMBING PERMIT
- SIGNAGE PERMIT

## GOVERNING CODES

- INTERNATIONAL BUILDING CODE (IBC), 2018 EDITION & WAC 51-50
- ACCESSIBLE AND USABLE BUILDINGS & FACILITIES, ANSI A117.1-2009 & WAC 51-51-005
- WASHINGTON STATE ENERGY CODE (WSEC), 2018 EDITION, WAC 51-11 (C, R, APPENDIX)
- INTERNATIONAL FIRE CODE (IFC), 2018 EDITION AND WAC 51-54
- NATIONAL ELECTRICAL CODE (NEC), 2018 EDITION & WAC 296-46B-010
- NFPA STANDARD 72, 13, 2019 EDITIONS
- MUKILTEO MUNICIPAL CODE, TITLE 17 ZONING

## LAND USE/ZONING

Applicable Code: Mukilteo Municipal Code

### MMC za Lot and structure requirements TABLE 1

Minimum Lot Area: None  
Parcel Size: +/-10,850 SF (0.25 acres)

Minimum Lot Width: 25'-0"  
Actual Lot Width: 100'-0"

Minimum Average Depth: none  
Actual Lot Depth: 110'-0"

### MMC 17.20.020 Structure bulk matrix TABLE 2

Maximum Lot Coverage: None  
Maximum Building Height: 35'-0" (Refer to Diagram on this sheet for Mean Ground Elevation calculation)

Proposed Building Height:

Total Stories: 3  
35' - 0"

Setbacks

Front: None (MMC 17.20.025.26)  
Rear (with alley): None  
Side, Corner: None (MMC 17.20.025.26)  
Side, Interior: None

### MMC 17.20.028 Maximum hard surface coverage matrix TABLE 3

Maximum Hard Surface Coverage: Downtown Business = 100%

### MMC 17.56.040 Spaces required TABLE 17.56.040

Required Parking:  
14 - 1 BEDROOM UNITS @ 1.5 STALLS/UNIT  
14 x 1.5 = 21 STALLS

GUEST STALLS @ 1/EVERY 4 UNITS  
14 / 4 = 3.5 = 4 STALLS

COMMERCIAL SPACE  
3 STALLS / 1,000 SF GROSS  
1,980 SF / 1,000 SF = 1.98 x 3 = 6 STALLS

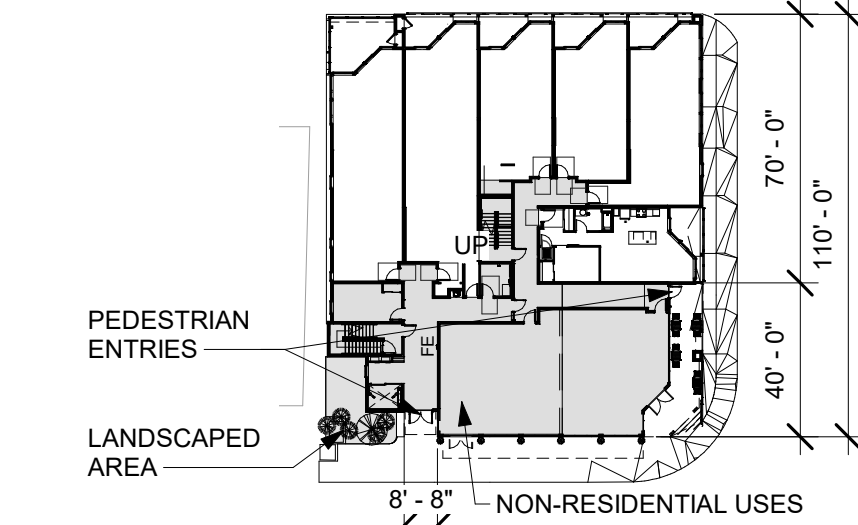
TOTAL PARKING REQUIRED = 31 STALLS

Parking Provided:  
17 STANDARD STALLS  
12 LARGE STALLS PROVIDED  
1 ACCESSIBLE STALL  
4 ON-STREET SPACES\*  
= 34 STALLS PROVIDED ON SITE\*

\* ADJACENT ON-STREET PARKING ON THIRD STREET IS AVAILABLE TO THE PROJECT (MMC 17.56.045 Special provisions for downtown business zoning district.)

### MMC 17.25A.030 Design Standards for the DB District

17.25A.030.A.2.a.ii > 40% facing street of Street Level reserved for non-residential uses:



17.25A.030.A.2.b.i Pedestrian entryways provide access to both residential and commercial-retail uses.

17.25A.030.A.2.b.ii Total portion of lot frontage width used for pedestrian entryways is < 24'-0" wide.

17.25A.030.B.2.a Dwelling units are located above and behind commercial-retail uses.

17.25A.030.B.2.b Required parking for residential uses is located on site.

17.25A.040.A.1.b.i Building is located on the front property line adjacent to the sidewalk.

17.25A.040.A.1.b.ii A universally accessible path is provided from the sidewalk to the building's entry.

17.25A.040.A.1.b.iii Parking garage is accessible only from alley.

17.25A.040.A.1.b.iv Located on Park Avenue, our building meets the edge of the sidewalk, provides a visible entry on the corner of Park & 3rd St, and provides screening from the sidewalk to the Parking Garage towards the alley.

17.25A.040.A.2.b.i Pedestrian access provided from the main street.

17.25A.040.A.2.b.ii Access complies with federal, state and local codes for ADA.

17.25A.040.A.2.b.iii Project is only one building.

17.25A.040.A.3.b.i Bicycle Parking (14 racks = 1 per unit) is provided inside the Parking Garage.

17.25A.040.A.3.b.ii The areas adjacent to the sidewalk are designed to not impede bicycle traffic.

17.25A.040.A.4.b.i (A) Trash/Recycling on alley to be screened with roll-up door.

17.25A.040.A.4.b.i (B) Interior lot line shared with Commercial property.

17.25A.040.A.4.b.i (C) The enclosure for recyclable and garbage collection point is located within the Parking Garage, along the alley.

17.25A.040.A.4.b.i (D) The project does not have loading areas nor outdoor storage areas.

17.25A.040.A.4.b.i (E) The project does not have solid waste receptacles and service areas visible from the sidewalk.

17.25A.040.A.4.b.i (F) The project does not have screened trash containers, only a recyclable and garbage collection point enclosure.

17.25A.040.A.4.b.ii (A) Utility meters will be located in the Electrical Room on the alley.

17.25A.040.A.4.b.ii (B) All mechanical equipment will be located and screened at ground level and attached to structures to reduce the visual impacts from adjoining properties.

17.25A.040.A.4.b.ii (C) Roof-mounted mechanical equipment will be screened by parapet on the roof, and will match the exposed color of the roof.

17.25A.040.A.4.b.ii (D) Utility meters will be located in the Electrical Room on the alley.

17.25A.040.A.5.b.i Building is located on both corner property lines.

17.25A.040.A.5.b.ii The corner of 3rd St and Park Ave is pedestrian-oriented with a business entrance at the corner.

17.25A.040.A.5.b.iii Corner is distinct in form as well as material from the remainder of building.

17.25A.040.A.5.b.iv Concrete wall along Park Ave, more than 20'-0" long, to be board formed, providing decorative element.

17.25A.040.A.6.b.i Parking garage accessed from alley.

17.25A.040.A.6.b.ii No vehicle access route via the street, only alley access.

17.25A.040.A.6.b.iii No vehicle access route via the street, only alley access.

17.25A.040.A.6.b.iv Vehicle access via alley.

17.25A.040.A.7.b Building design does not include gabled roofs.

17.25A.040.B.2.b.i Each of the 14 Residential units has a deck along the facades, facing the alley and Park Ave. The 2nd floor residential unit that abuts 3rd St has a deck facing the corner of 3rd St and Park Ave.

17.25A.040.B.2.b.ii Unit windows jut out and back at decks, providing visual interest.

17.25A.040.B.2.b.iii Both stair towers extend above the lower roof and are distinguished materially.

17.25A.040.B.2.b.iv All of the facade on both 3rd St and Park Ave is pedestrian-oriented space, thus providing much more than 15sf/10 lineal feet.

17.25A.040.B.2.b.v The first floor of the building is devoted to Commercial space along 3rd St, and therefore the windows there are storefront with large glazing, but separated by > 6" wall sections.

17.25A.040.B.2.b.vi

At the corner of 3rd St and Park Ave, there is a covered entry to the Commercial space.

17.25A.040.B.2.b.vii

There are (2) canopies along the 3rd St facade, spanning 61'-6" combined.

17.25A.040.B.2.b.viii

Residential units on the first and second floor setback 8'-0"+ at decks.

17.25A.040.B.2.b.ix

The canopies along 3rd St facade provide pedestrian-orientation.

17.25A.040.B.3.b.i.(A)

Unit decks are all significantly greater than 40sf in size.

17.25A.040.B.3.b.i.(B),(1)

The project has flat, unmodulated roofs. However, since there are multiple roof levels, as well as a roof terrace, visual interest is achieved.

17.25A.040.B.3.b.i.(C)

All dwelling units have the same window patterns, thus creating repeating visual pattern.

17.25A.040.B.3.b.i.(D)

All dwelling units have a deck, thus creating repeating visual pattern.

17.25A.040.B.3.b.i.(E)

Roofs are stepped to multiple levels.

17.25A.040.B.3.b.i.(F)

Materials change with each building volume.

17.25A.040.B.3.b.i.(G)

Light fixtures and planters are provided in repeat pattern along 3rd St facade.

17.25A.040.B.3.b.i.(H)

No facade in the project exceeds 120'-0" width.

17.25A.040.B.4.b.i.(A)

The Commercial/retail facade on 3rd St has 85% glazing at the ground floor facade between two feet and eight feet above grade:



17.25A.040.B.4.b.i.(B)

Principal building entry faces 3rd St and is accessed directly from the sidewalk.

17.25A.040.B.4.b.i.(C)

The sidewalk-accessible facade on 3rd St is 99% protected from weather with >5'-0" deep canopies.

17.25A.040.B.4.b.i.(D)

No exemption needed.

17.25A.040.B.4.b.ii

Service areas (Electrical Room, Trash/Recycling) are located at the alley, not the pedestrian-oriented street.

17.25A.040.B.5.b

Project corner provides a corner entrance as well as corner architectural elements: Balcony on upper story, corner windows.

17.25A.040.B.6.b

Project provides the following design features: decorative light fixtures, decorative stone cladding, planters at part of landscape treatment, and decorative paving.

17.25A.040.B.7.b.i

Building exteriors to include stone cladding, fiber cement siding, and wood-look cladding.

17.25A.040.B.7.b.ii

None of the prohibited materials will be used in project.

17.25A.040.B.7.b.iii

None of the special materials will be used in project.

17.25A.040.B.7.b.iv

The storefront's palette shall not have more than three colors.

17.25A.040.B.8

Blank walls to be board-formed cast-in-place concrete, for visual and textural interest.

17.25A.040.B.9.b.i

The principal building entrance is at 3rd St and to be covered, lighted, have signage, be visible from the sidewalk, have glazing for transparency, be secure with intercom/call-box, and have architectural/artwork enhancements.

17.25A.040.B.9.b.ii

Secondary entrance is at Park Ave and to be covered, and have signage.

17.25A.040.B.10.b

Parking Garage to be secured, obscure view of cars at grade, and to be constructed of board-formed cast-in-place concrete walls, to provide visual and textural interest.

17.25A.040.C.1.b

Sidewalk along 3rd St to be min 11'-10" wide, and lighting to be provided along face of building at all sidewalks.

17.25A.040.C.2.b

Project to provide pedestrian amenities including concrete bench near primary entry, decorative lighting, and pavement patterns at entries.

17.25A.040.C.3.b

Project fills the site, so will not have internal pedestrian paths, but supports pedestrian travel on 3rd St and Park Ave.

17.25A.040.C.4.b.i

Planted landscape area to be located on 3rd St at southwest corner of the site will provide visual interest and garden feel.

17.25A.040.C.4.b.ii

Project to achieve pedestrian-orientation via concrete bench near building entry and adjacent retail facade with >75% glazing.

17.25A.040.C.4.b.iii

The project will avoid all of the items listed that do not enhance pedestrian-oriented space.

17.25A.040.D.a.ii

All parking standards being met, please see A1.10 and Parking Analysis on this sheet.

17.25A.040.D.b, c

Only structured parking, no lot at grade.

17.25A.040.E

Project intends to meet all Landscaping requirements and will further develop landscape plans as it proceeds.

17.25A.040.F

Project intends to meet all Signage requirements and will further develop signage design package as it proceeds.

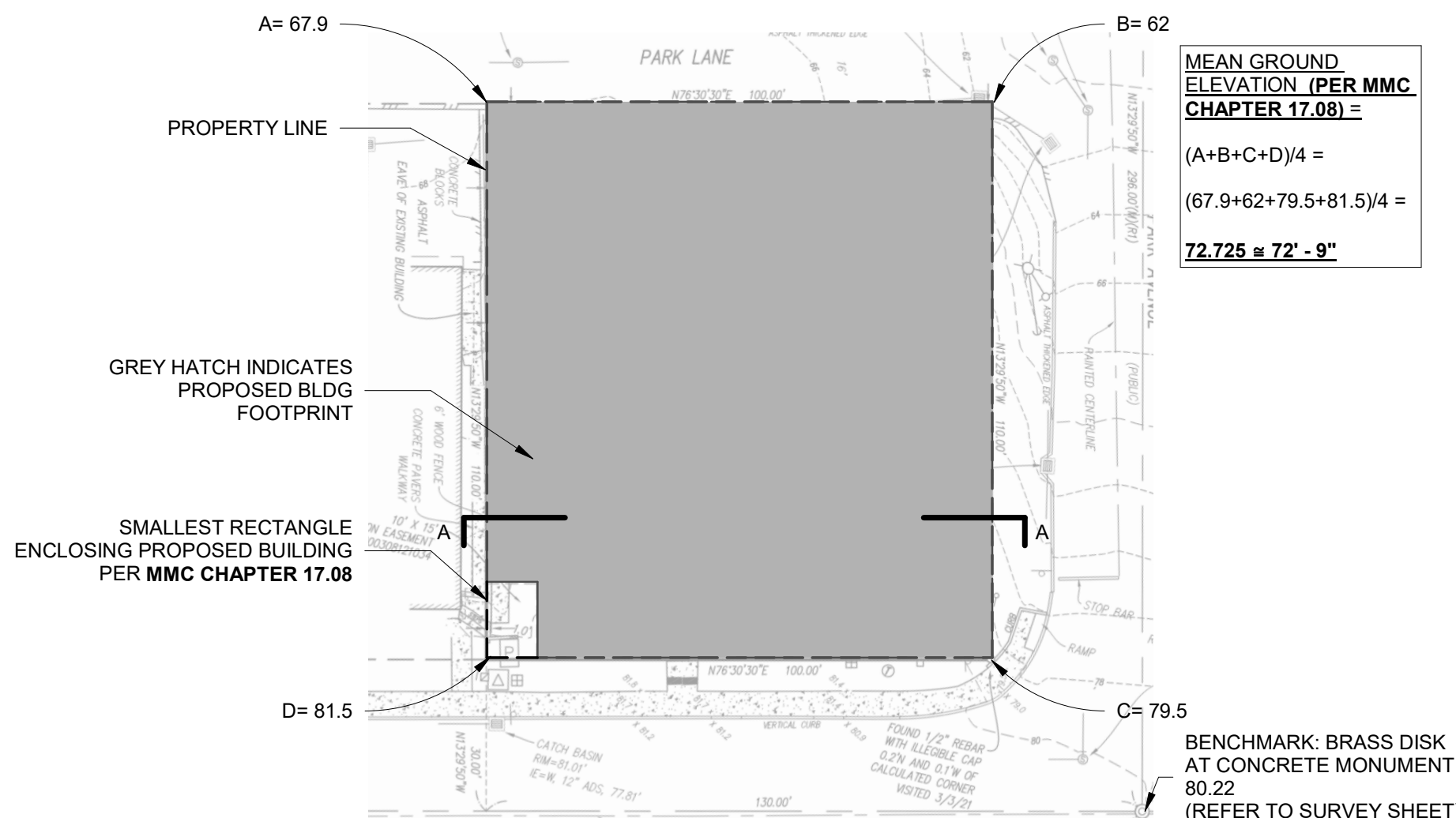
17.25A.040.G

Project intends to meet all Site Lighting requirements and will further develop lighting package with engineer as it proceeds.

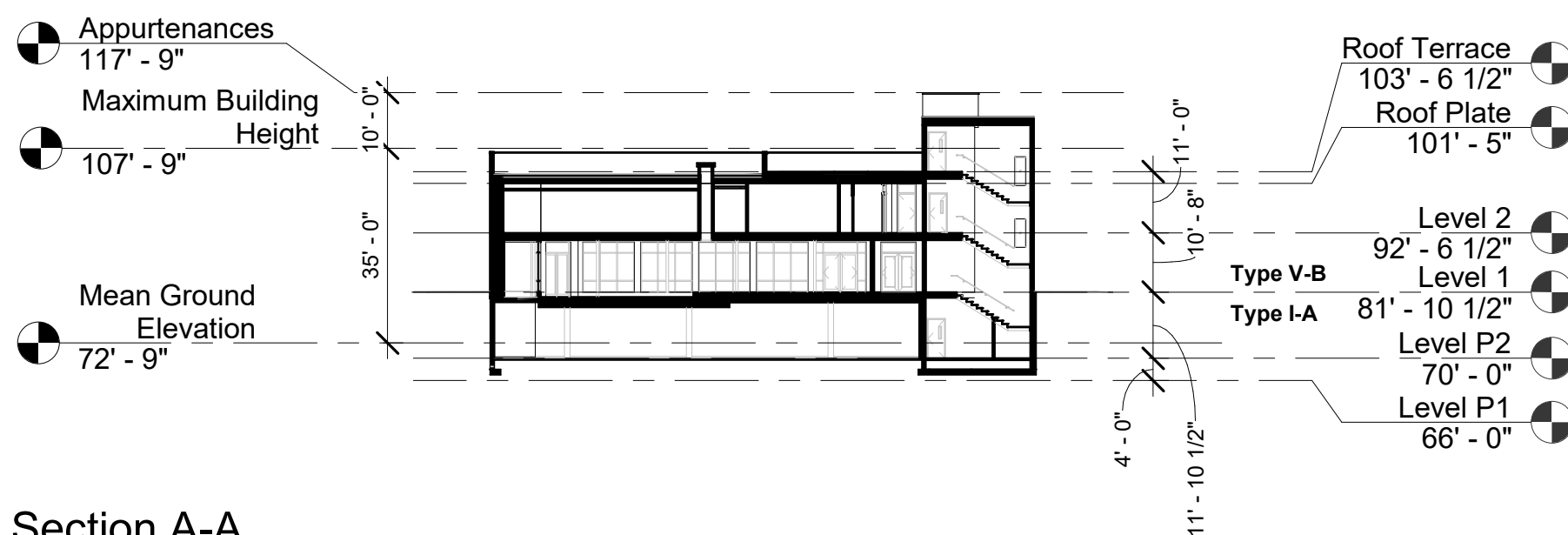
## LOCATION MAP



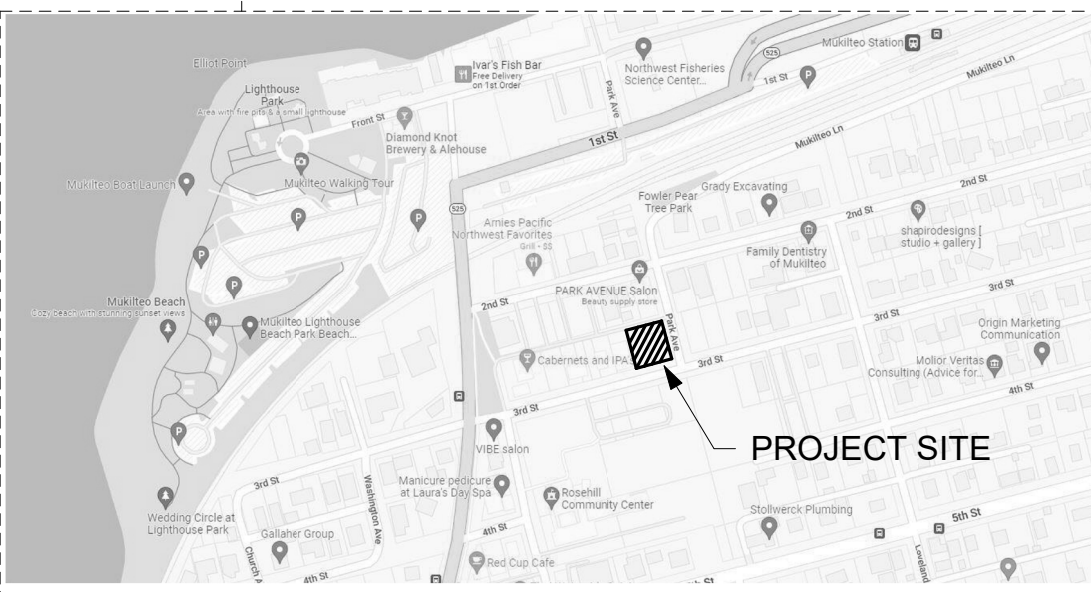
## BUILDING HEIGHT CALCULATION



Site Plan - MGE Diagram



## VICINITY MAP



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2nd Floor / Everett, WA 98201

CONSULTANT:

REGISTRATION STAMPS:



PROJECT IDENTIFICATION:

Williams Invest -  
Third and Park  
FOR  
5J WILLIAMS  
FAMILY LLC  
AT  
3RD & PARK AVE  
MUKILTEO, WA 98275

BUILDING PERMIT  
01/30/2023

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PROJECT NUMBER:

2021-042

REVISIONS:

MARK	DATE	DESCRIPTION
	01/30/2023	BUILDING PERMIT

PROJECT TEAM:

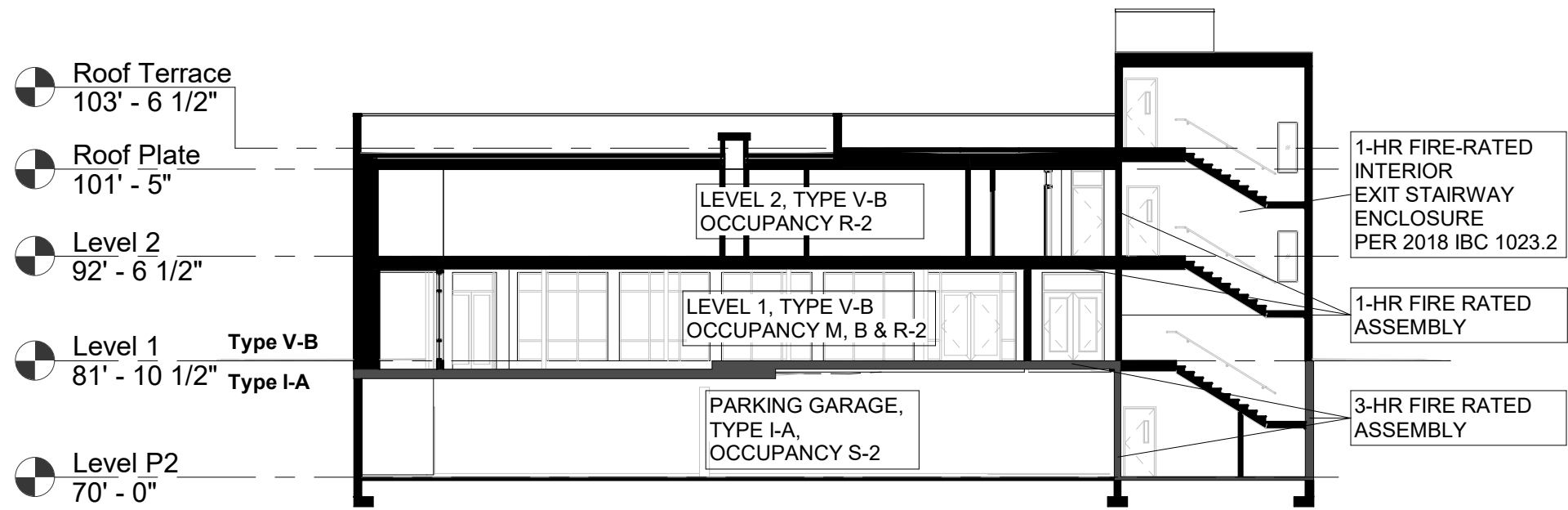
PRINCIPAL IN CHARGE: MAS  
PROJECT MANAGER: AM  
PROJECT ARCHITECT: WDH  
JOB CAPTAIN: SZ

DRAWING TITLE:

PROJECT INFORMATION  
& ZONING CODE  
ANALYSIS

DRAWING NUMBER:

CS00



Section A-A Life Safety

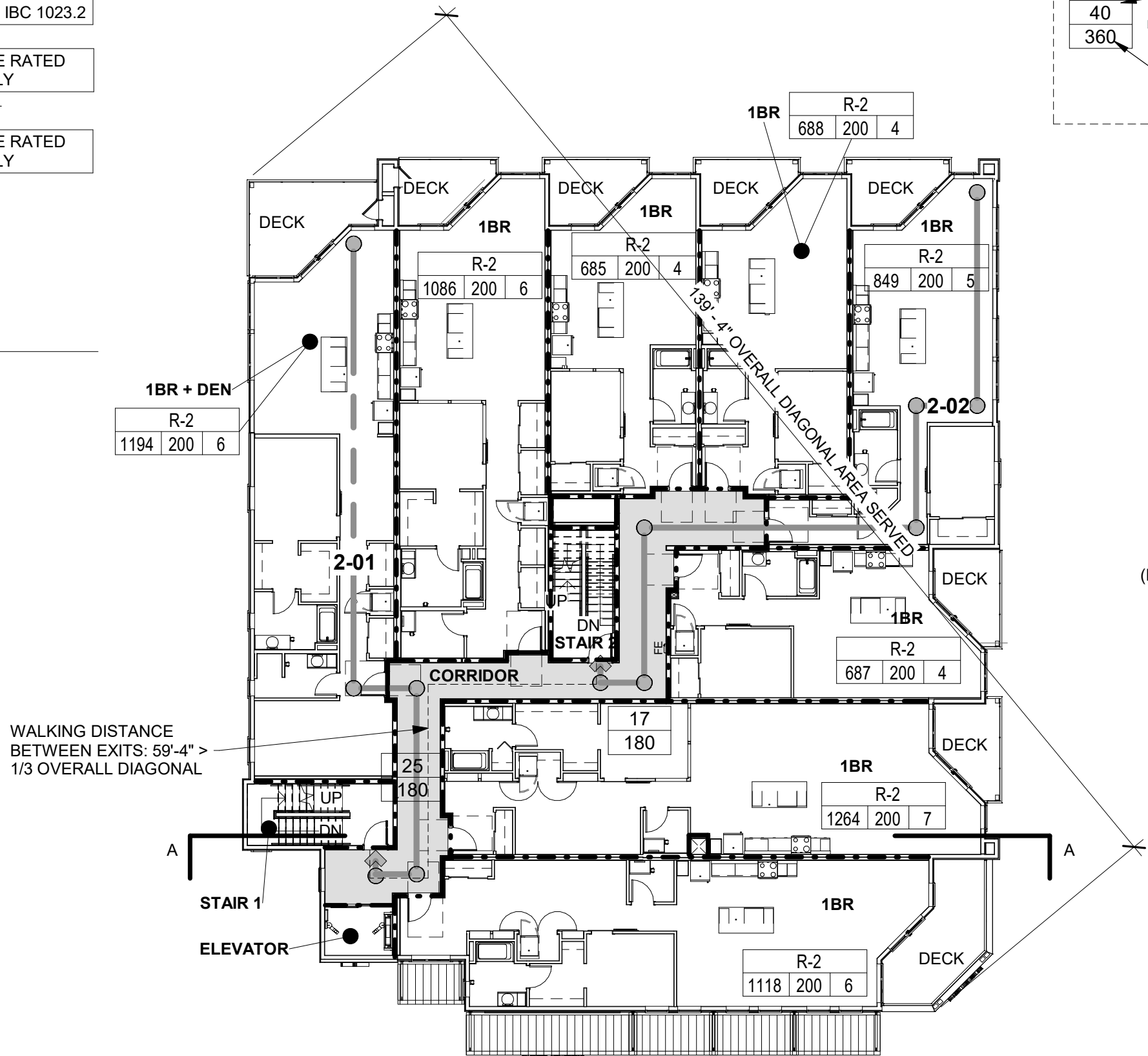
CODE SUMMARY - OCCUPANT LOAD						
Room Number	Room Name	Area	Occupancy Classification	Occupancy Group	Occupant Load Factor	Occupant Load
Level P2						
P01	GARBAGE/RECYCLING	235 SF	UTILITY	U	300 SF	1
P02	ELEC	114 SF	UTILITY	U	300 SF	1
P03	RISER RM	48 SF	UTILITY	U	300 SF	1
P04	PARKING GARAGE	9,371 SF	STORAGE	S-2	200 SF	47
P05	ELEVATOR MACHINE ROOM	49 SF	UTILITY	U	300 SF	1
						51
Level 1						
101	1BR	1,012 SF	RESIDENTIAL	R-2	200 SF	6
101S	EXT STORAGE	5 SF	STORAGE	S-2	200 SF	1
102	1BR	1,141 SF	RESIDENTIAL	R-2	200 SF	6
102S	EXT STORAGE	5 SF	STORAGE	S-2	200 SF	1
103	1BR	717 SF	RESIDENTIAL	R-2	200 SF	4
104	1BR	688 SF	RESIDENTIAL	R-2	200 SF	4
105	1BR	849 SF	RESIDENTIAL	R-2	200 SF	5
106	1BR	693 SF	RESIDENTIAL	R-2	200 SF	4
109	COMMERCIAL SPACE 2	819 SF	MERCANTILE	M	60 SF	14
110	COMMERCIAL SPACE 1	936 SF	MERCANTILE	M	60 SF	16
114	LEASING OFFICE	175 SF	BUSINESS	B	150 SF	2
117	JANITOR	31 SF	UTILITY	U	300 SF	1
						64
Level 2						
201	1BR + DEN	1,194 SF	RESIDENTIAL	R-2	200 SF	6
201S	EXT STORAGE	5 SF	STORAGE	S-2	200 SF	1
202	1BR	1,086 SF	RESIDENTIAL	R-2	200 SF	6
202S	EXT STORAGE	5 SF	STORAGE	S-2	200 SF	1
203	1BR	685 SF	RESIDENTIAL	R-2	200 SF	4
204	1BR	688 SF	RESIDENTIAL	R-2	200 SF	4
205	1BR	849 SF	RESIDENTIAL	R-2	200 SF	5
206	1BR	687 SF	RESIDENTIAL	R-2	200 SF	4
207	1BR	1,264 SF	RESIDENTIAL	R-2	200 SF	7
208	1BR	1,118 SF	RESIDENTIAL	R-2	200 SF	6
						44
Roof Plate						
RT02	ROOF TERRACE	1,505 SF	ASSEMBLY	A-3	15 SF	101
TOTAL CALCULATED OCCUPANT LOAD (PER 2018 IBC 1004):						260

TRAVEL PATH ANALYSIS	
Travel Path	Travel Distance
P1-01	92'
P1-02	113'
1-01	108'
1-02	147'
2-01	98'
2-02	115'
R-01	63'
R-02	68'

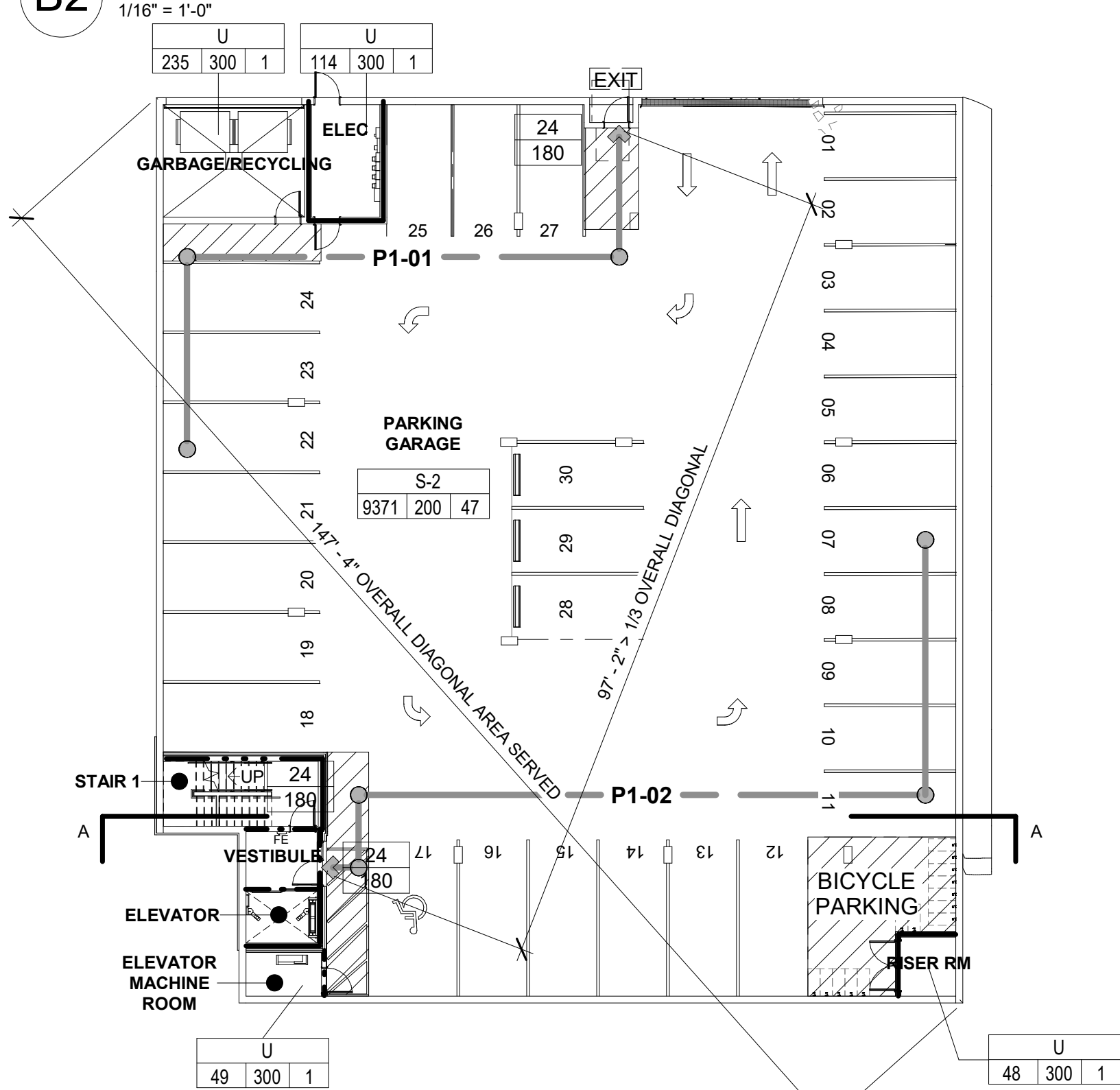
MAXIMUM TRAVEL DISTANCE PER IBC 1017:

S-2 OCCUPANCY	400'
B OCCUPANCY	300'
A-3 OCCUPANCY	250'
R-2 OCCUPANCY	250'
M OCCUPANCY	250'

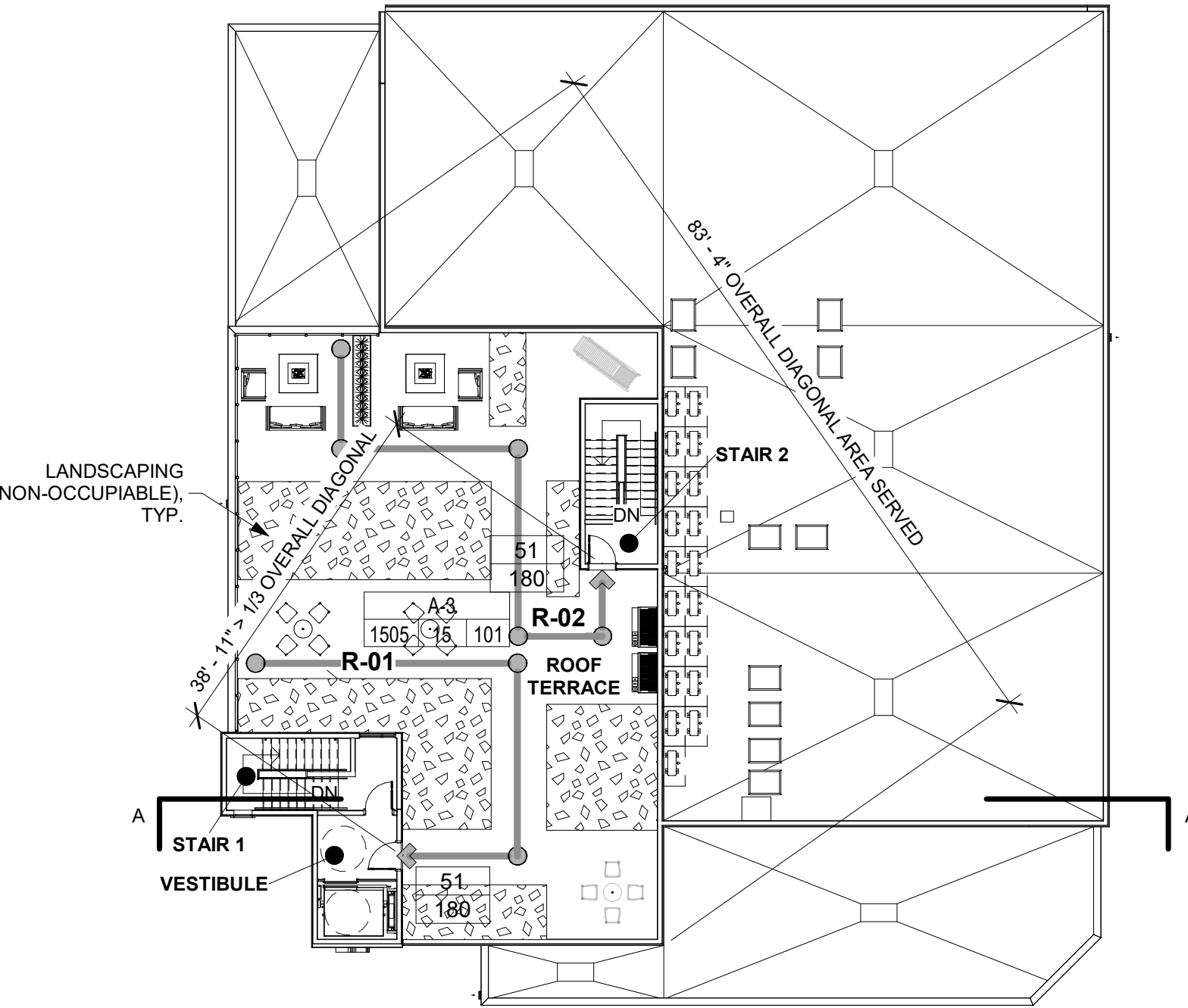
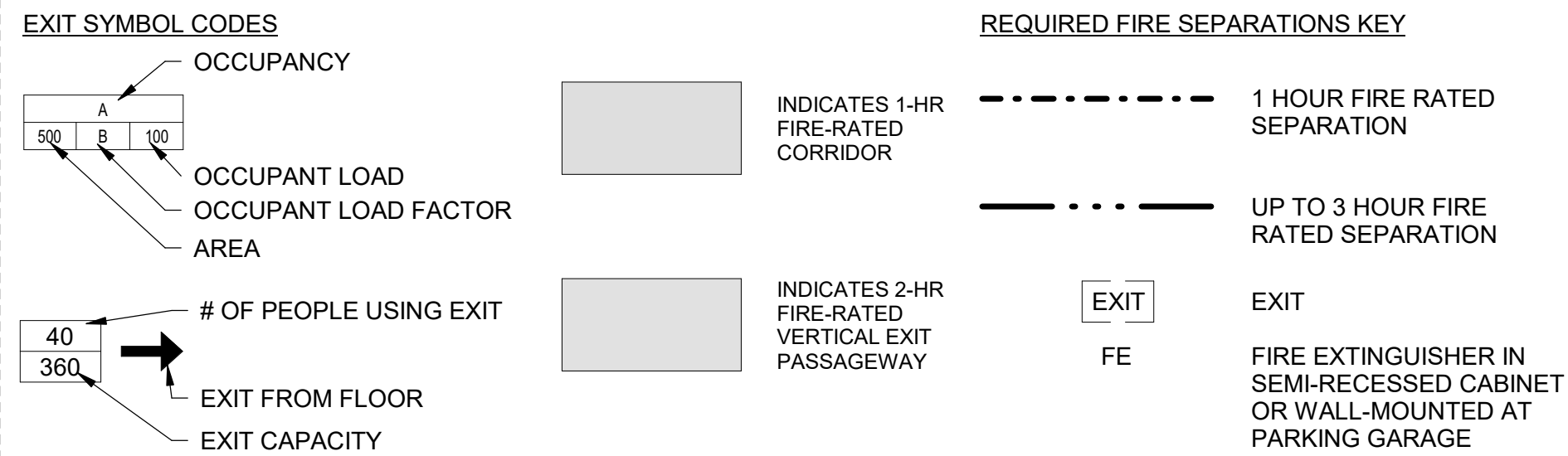
1. Refer to Door Schedule on sheets A7.10 for panic hardware locations.
2. All exits shall be provided with a tactile exit sign.
3. All assembly spaces shall be provided with a maximum occupant load sign.
4. All Fire Extinguishers are located within maximum 75' distance of any occupiable building location.



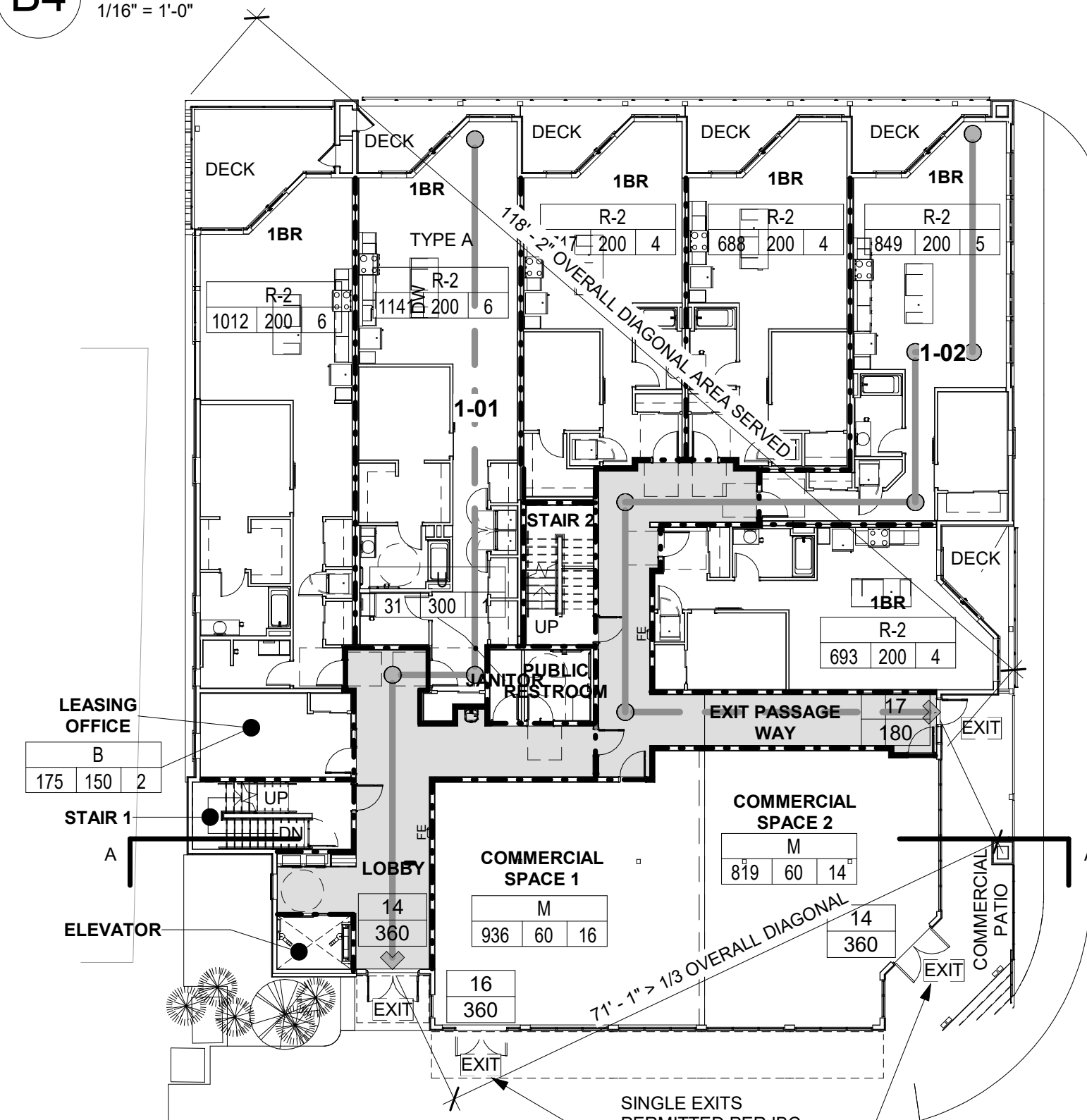
B2 EXITING PLAN - Level 2



A2 EXITING PLAN - Parking Level



B4 EXITING PLAN - Roof Terrace



A4 EXITING PLAN - Level 1



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PROJECT TEAM:

PRINCIPAL IN CHARGE: MAS  
PROJECT MANAGER: AM  
PROJECT ARCHITECT: WDH  
JOB CAPTAIN: SZ

DRAWING TITLE:

LIFE SAFETY ANALYSIS

DRAWING NUMBER:

CS20



# Williams Invest - Third and Park

PROJECT DEVELOPED FOR

## 5J WILLIAMS FAMILY LLC



### PROJECT TEAM

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#### General Contractor

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#### Structural Engineer

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#### Building Envelope

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CONTACT: Chad Smith  
PHONE: (425) 672 3900  
EMAIL: chad@bee-engineers.com

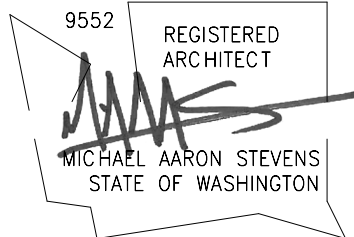


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PROJECT MANAGER: AM  
PROJECT ARCHITECT: WDH  
JOB CAPTAIN: SZ

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COVER SHEET

#### DRAWING NUMBER:

G0.1