



Date stamp

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APR 21 2016

CITY OF MUKILTEO

Land Use Permit Application

PPR # _____
SEPA # _____
Misc # _____

Applicant: Adam Clark Owner: WIZARD INTERNATIONAL
Address: 2812 architecture Address: 4600 116th St. SW
2812 Colby Ave Mukilteo, WA 98275
Phone: Everett, WA 98201 Phone: _____
Project Address: 4600 116th St. SW Mukilteo, WA 98275
Legal Description of Property: SEE ATTACHED

Key Contact Person: Adam Clark Phone: 425 252-2153
Adam @ 2812 Architecture . com Fax: _____
Project Type:

- | | | |
|--|---|---|
| <input checked="" type="checkbox"/> Commercial | <input type="checkbox"/> Preliminary Subdivision* | <input type="checkbox"/> Special Use Permit* |
| <input type="checkbox"/> Multi-Family | <input type="checkbox"/> Final Subdivision* | <input type="checkbox"/> Reasonable Use |
| <input checked="" type="checkbox"/> Industrial | <input type="checkbox"/> Preliminary Short Plat* | <input type="checkbox"/> Lot Line Adjustment* |
| <input type="checkbox"/> Shoreline* (JARPA) | <input type="checkbox"/> Final Short Plat* | <input type="checkbox"/> Grading* |
| <input type="checkbox"/> Conditional Use* | <input type="checkbox"/> Sector Plan Amendment | <input type="checkbox"/> Binding Site Plan |
| <input type="checkbox"/> Variance* | <input type="checkbox"/> Waterfront Development | <input type="checkbox"/> Project Rezone |
| | <input type="checkbox"/> Single Family Residence | <input type="checkbox"/> Other, Specify _____ |

* Need to fill out supplemental application form with project.

Project Resume:

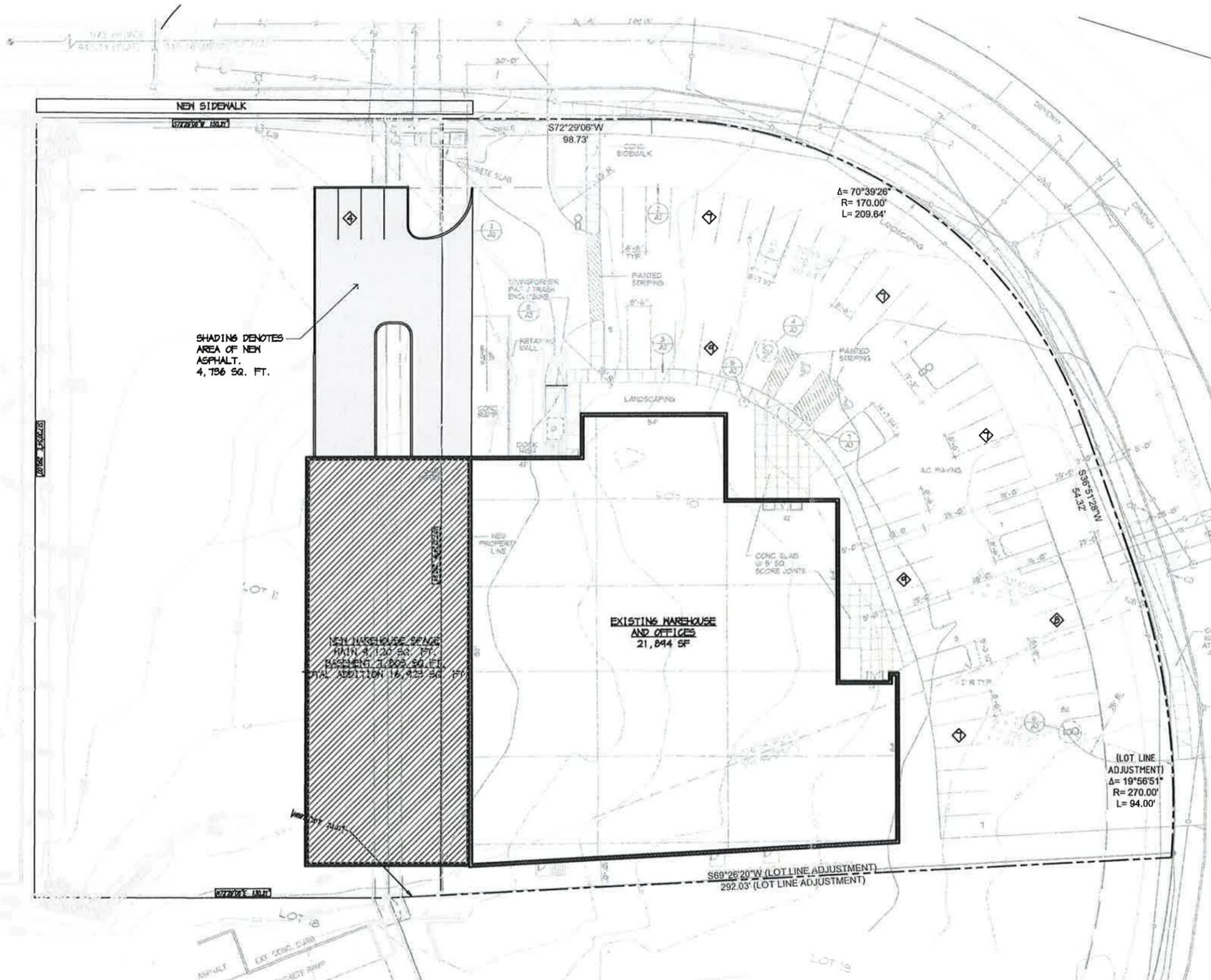
Existing Use: OFFICE/INDUSTRIAL Proposed Use: OFFICE/INDUSTRIAL
Total Site Area: 1.52 Acres Landscaping Area: 976 SF. NEW LANDSCAPE
66,211 SQ. FT.
Building Foot Print Area: 31,014 SQ FT Water District: Mukilteo
Lot Coverage: 47% Sewer District: Mukilteo
Parking Provided: 58 stalls # of Proposed Units: 0
Building Height: 22'-0" Comp Plan Designation: Industrial
Gross Floor Area by Uses: 7,961 SQ FT. - OFFICE Zoning: IP Industrial Park
30,856 SQ FT. WAREHOUSE

Pre-application Meeting Held: Y; N; date) 08 Feb 2016

The information given is said to be true under the penalty of perjury by the laws of the State of Washington.

[Signature] 21 APR 16
Applicant/Authorized Agent Signature Date

[Signature] 04-20-2016
Owners Signature Date



SHADING DENOTES AREA OF NEW ASPHALT. 4,796 SQ. FT.

NEW WAREHOUSE SPACE
MAIN 8,120 SQ. FT.
BASEMENT 1,803 SQ. FT.
TOTAL ADDITION 16,923 SQ. FT.

EXISTING WAREHOUSE AND OFFICES
21,844 SF

(LOT LINE ADJUSTMENT)
Δ = 19°56'51"
R = 270.00'
L = 94.00'

S69°26'20"W (LOT LINE ADJUSTMENT)
292.03' (LOT LINE ADJUSTMENT)

SITE PLAN
SCALE: 1" = 20'-0"



PROJECT CRITERIA

TAX ACCOUNT NOS.: 1) 00188400001000, 2) 00188400001100

LEGAL DESCRIPTION:
1) Section 21 Township 28 Range 04 Quarter SE HARBOUR POINTE BUSINESS CENTER, NORTH CAMPUS BLK 000 D-00 TH PTN OF LOTS 10 & 19 DAF BEG AT NLY COR OF SD LOT 10 TH N12 29 06E 20.00FT TO TPOB TH CONTN12 29 06E 78.79FT TO PT OF CURVATURE OF A CRV TO R HAVING A RAD OF 170.00FT TH ELY ALG SD CRV THRU A C/A OF TO 94 26 AN ARC LENGTH OF 209.64FT TH S66 51 28E 54.92FT TO A PT OF CURVATURE OF A CRV TO R HAVING A RAD OF 270.00FT TH SELY ALG SD CRV THRU A C/A OF 23 36 52 AN ARC DIST 111.28FT TH S64 26 20W 212.00FT TH N17 30 54N 288.94FT TO POB - PER SMD REG AFN 9110080421

2) Section 21 Township 28 Range 04 Quarter SE HARBOUR POINTE BUSINESS CENTER, NORTH CAMPUS BLK 000 D-00 - (SEE'D FOR TAX PURP ONLY) - TH PTN OF LOTS 10, 11 & 19 OF SD PLAT DAF BEG AT NLY COR OF SD LOT 10 TH N12 29 06E 20.00FT TO TPOB TH S17 30 54E 288.94FT TO SN COR OF TH CERT TR OF LAND CONVDY TO WIZARD INTERNATIONAL INC BY DEED REG AFN 9110080421 TH S64 26 20W 20.08FT TH S12 29 06N 130.21FT TO SE COR OF TH CERT TR OF LAND CONVDY TO ALBAR INC BY DEED REG AFN 9212220848 TH N17 30 54N ALG E LN OF SD ALBAR TR 290.00FT TO SLY LN OF 116TH ST SN TH N12 29 06E TO TPOB - PER SMD REG AFN 9902170034

BUILDING CRITERIA

CODE: 2012 IBC
ZONING: IP INDUSTRIAL PARK
COMPREHENSIVE ZONE: INDUSTRIAL
MAX HEIGHT: 40'
OCCUPANCY: B, F-1
CONSTRUCTION TYPE: VB SPRINKLERED

ALLOWABLE AREA CALCULATION:
TABLE 503
F-1 OCCUPANCY 8,500 S.F. (1 STORY, 40' MAX.)*
B OCCUPANCY 9,000 S.F. (2 STORY, 40' MAX.)*
*MAX. STORIES INCREASES BY 1 AND MAX. HEIGHT INCREASES BY 20' PER IBC 504.2

$$W = (550 \times 30 + 220 \times 10) / 710 = 24.29$$

$$I = (550 / 710 - .25) (24.29 / 30) = (.464) (.810) = .376$$

F-1 ALLOWABLE AREA CALCULATION
A = 8,500 + (8,500 x .376) + (8,500 x 2)

A = 8,500 + 3196 + 17,000 = 28,696 S.F. (IF BASEMENT COUNTS AS A STORY)

A = 8,500 + 3196 + 25,500 = 37,196 S.F. (IF BASEMENT DOESN'T COUNT AS A STORY)

TOTAL BUILDING AREA
BUILDING AREA: 38,817 S.F.

PARKING
REQUIRED PARKING (MMC TABLE 17.56.040: OFF STREET PARKING: MANUFACTURING W/ OFFICE SPACE LESS THAN 95% OF BUILDING AREA: 1.5 PER 1000SF = (38,817 SF / 1,000 SF) * 1.5

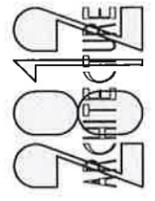
REQUIRED PARKING: 58 STALLS
PARKING PROVIDED: 58 STALLS

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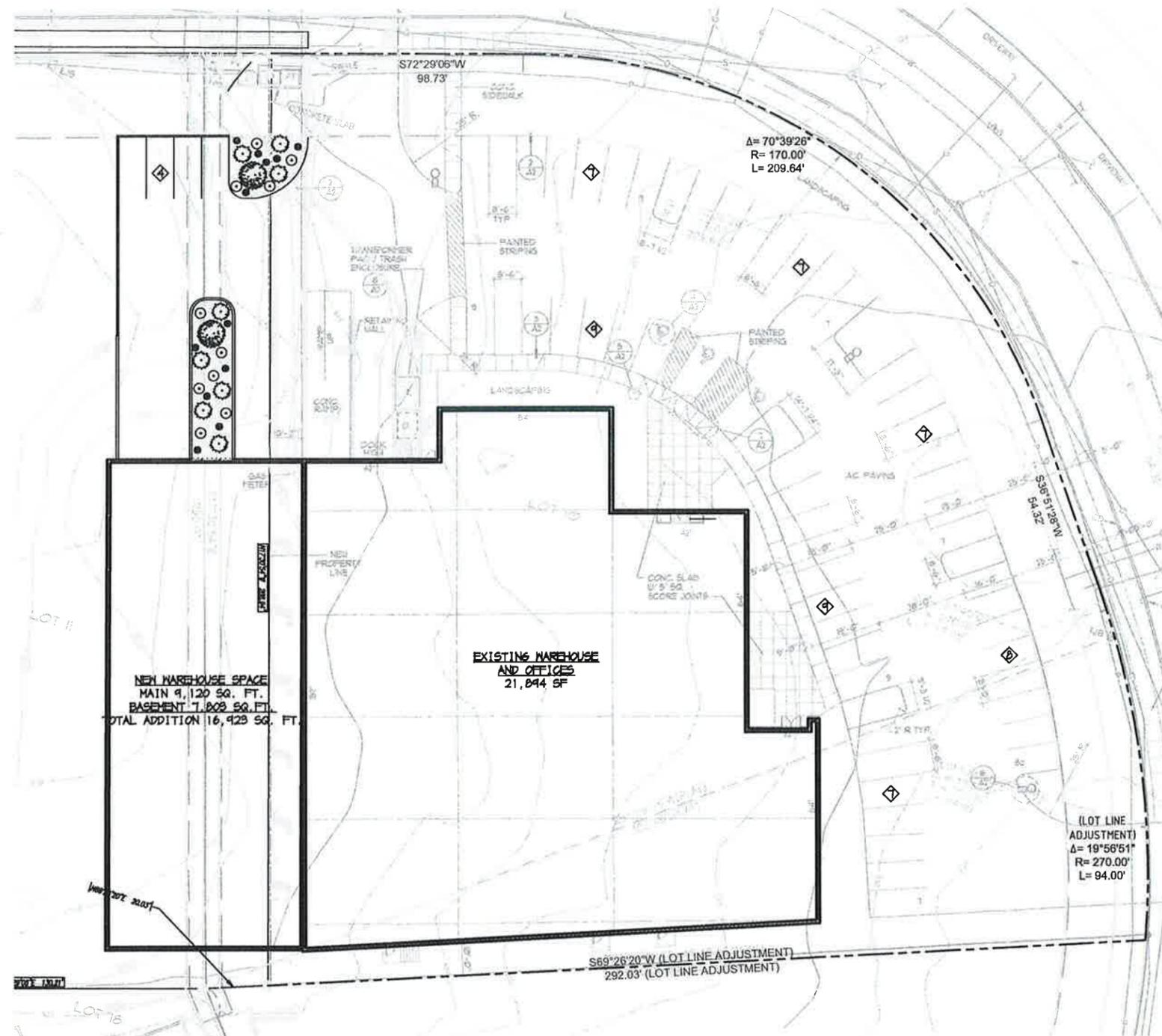
| | |
|-----------|----------|
| Date: | For: |
| 18 APR 16 | LAND USE |



2812 Colby Avenue
Everett, WA 98201
(425) 252-2153
www.2812architecture.com



An Addition for:
WIZARD INTERNATIONAL
4600 116TH ST SW
Mukilteo, Washington
SITE PLAN



LANDSCAPE PLAN

SCALE: 1" = 20'-0"

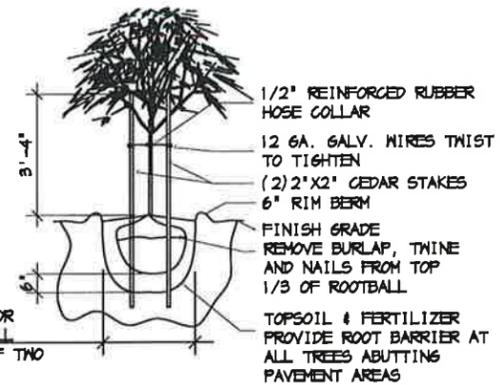


PLANTING SCHEDULE

| SYMBOL | QUAN. | BOTANICAL | COMMON | SIZE | REMARKS |
|--------|--------|-------------------------|--------------------|---------------|---------------------|
| | 2 | ACER CIRCINATUM | VINE MAPLE | 2- 21/2' GAL. | |
| | 15 | EUKONYMUS ALATUS | MIMED EUKONYMUS | 24" HT. MIN. | |
| | 4 | JUNIPERUS squamata | BLUE STAR JUNIPER | 1 GALLON | |
| | 6 | PRUNUS LAUROCERASUS | OTTO LUYKEN LAUREL | 21"-24" MIN. | |
| | T.B.D. | ARCHTOSTRYPHOS LVA-URSI | KINNIKINNICK | 4" POT | PLANTED AT 12" O.C. |



SHRUB PLANTING
NO SCALE



DECIDUOUS TREE PLANTING
NO SCALE

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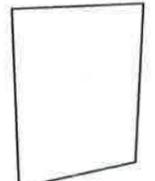
APR 21 2016

CITY OF MUKILTEO

LANDSCAPE NOTES

- BACKFILL MIX FOR PLANTING TREES, SHRUBS AND GROUND COVER SHALL BE: ONE PART BY VOLUME OF 3-WAY TOPSOIL MIXED WITH ONE PART NATIVE SOIL.
- PLANTER AREAS TO RECEIVE 3-WAY TOPSOIL.
- ALL TREES, SHRUBS AND GROUNDCOVER SHALL BE FERTILIZED WITH AGRO 4-2-2 TRANSPLANTER OR EQUAL AT PLANTING TIME.
- AFTER PLANTING OF ALL PLANTS, MULCH ALL AREAS WITH A MINIMUM OF 2" OF MEDIUM FINE BARK MULCH.
- OWNER TO APPROVE PLANTING PRIOR TO INSTALLATION.
- PLANT TYPES MAY BE SUBSTITUTED DUE TO AVAILABILITY WITH SIMILAR SPECIES AND VARIETIES.
- LANDSCAPING CONTRACTOR RESPONSIBLE FOR MAINTENANCE DURING CONSTRUCTION PERIOD.
- ALL PLANTS TO BE HEALTHY AT THE TIME OF PLANTING AND GUARANTEED FOR ONE FULL YEAR OR UNTIL THE NEXT SPRING (WHICHEVER IS GREATER).
- ALL BEAUTY BARK TO BE PLACED ON NEED CLOTH BARRIER.
- APPLY HERBICIDE TO LANDSCAPE AREAS PRIOR TO PLANTING IN ORDER TO ELIMINATE EXISTING WEEDS AND GRASSES.
- ALL PLANTING SHALL BE NORTHWEST NATIVE OR DROUGHT TOLERANT SPECIES. HOSE BIBBS SHALL BE PROVIDED AT EXTERIOR OF BUILDING FOR PERIODIC WATERING UNTIL LANDSCAPING AREAS ARE ESTABLISHED.

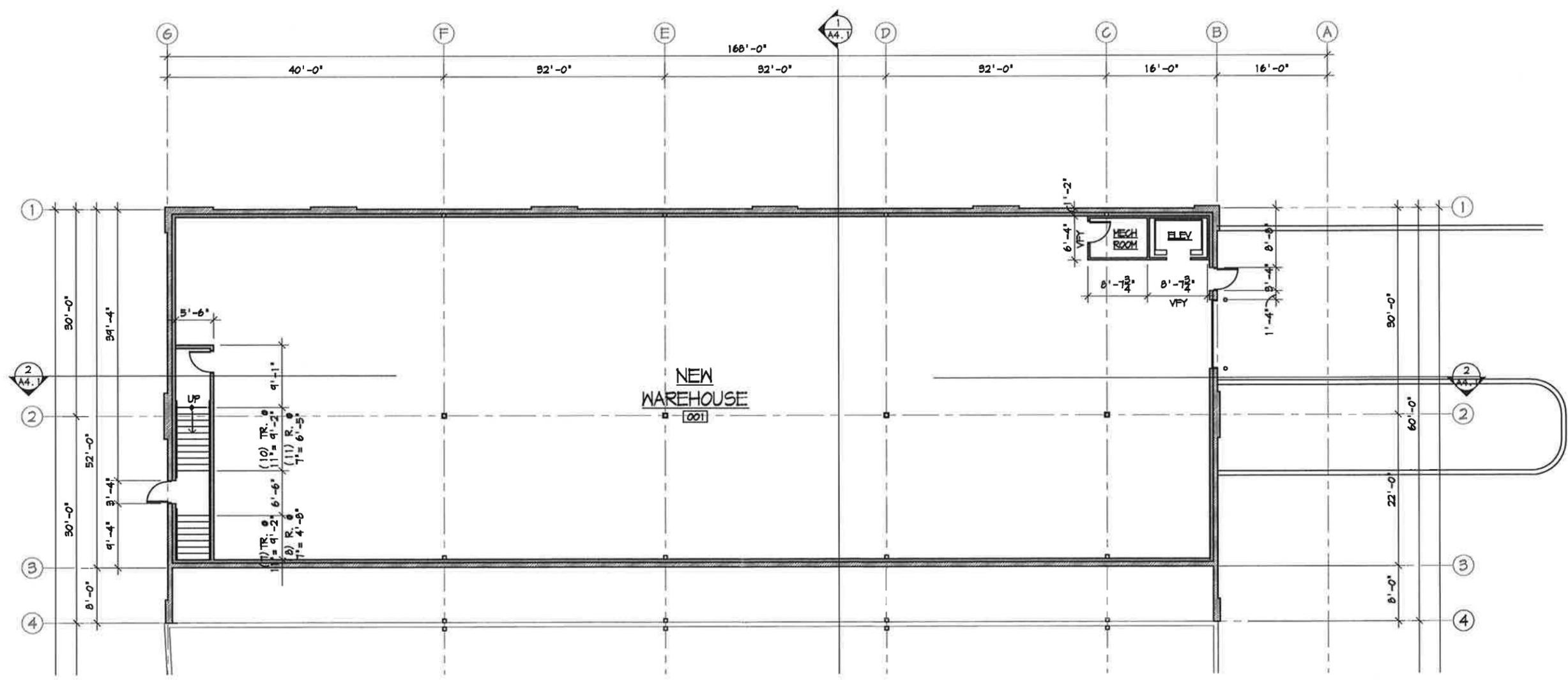
| | |
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2017
ARCHITECTURE

An Addition for:
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Mukilteo, Washington



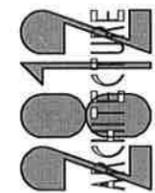
LOWER FLOOR PLAN
SCALE: 1/8" = 1'-0"



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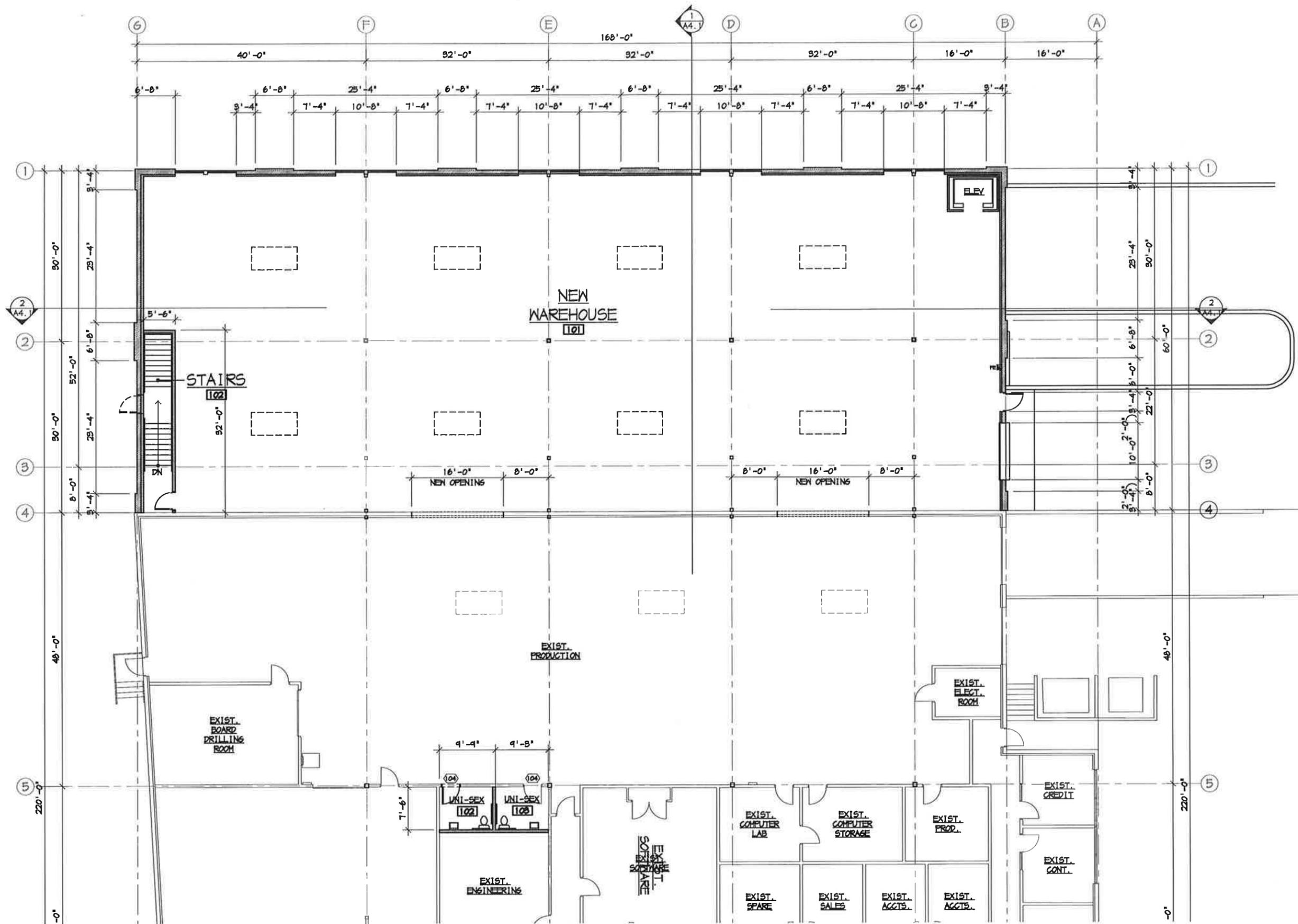


An Addition for:
WIZARD INTERNATIONAL
4800 116TH ST SW
Mukilteo, Washington

Drawing:
A2.1

15c-3578

LOWER FLOOR PLAN



MAIN FLOOR PLAN

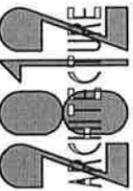
SCALE: 1/8" = 1'-0"



| | |
|-----------|----------|
| Date: | For: |
| 10 APR 16 | LAND USE |



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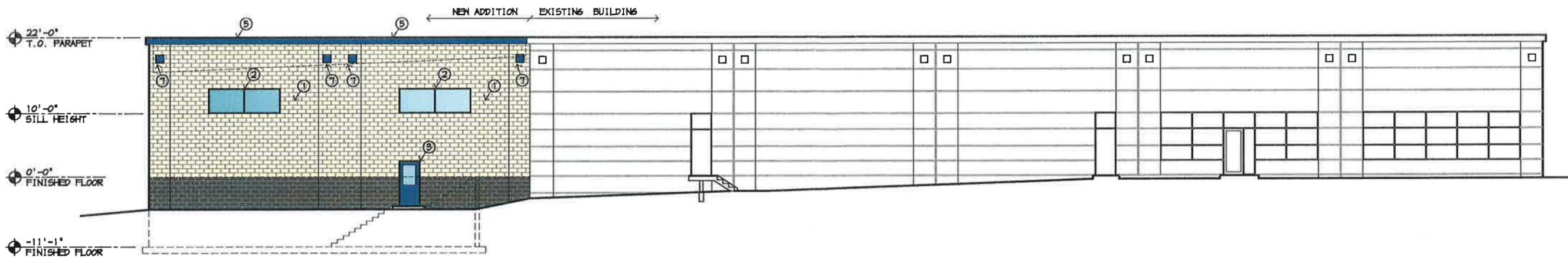


An Addition for:
WIZARD INTERNATIONAL
 4800 116TH ST SW
 Mukilteo, Washington

Drawing:
A2.2

Sheet Number:
 15c-3578

Content:
 MAIN FLOOR PLAN

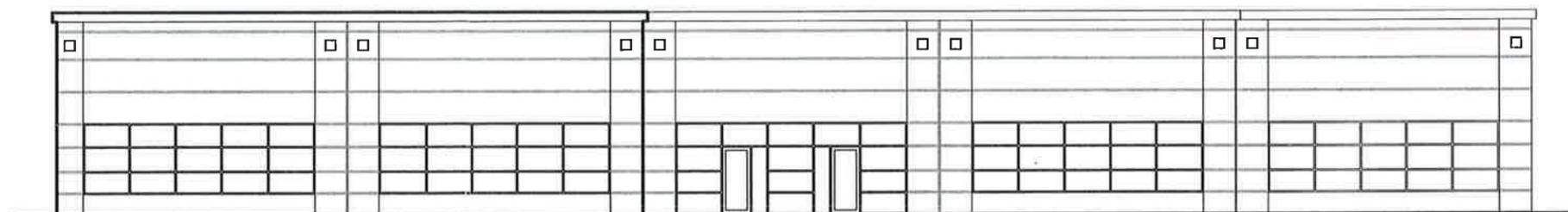


SOUTH ELEVATION

1/8" = 1'-0"

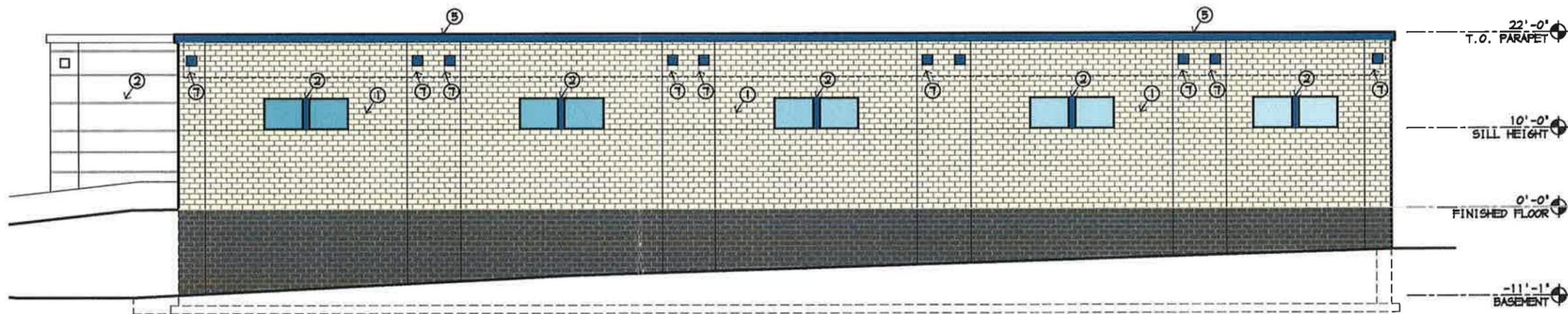
ELEVATION NOTES

1. CMU CONCRETE BLOCK WALL.
2. ALUMINUM WINDOW W/ 1" INSULATED SAFETY GLASS. SEE WALL SECTIONS AND STOREFRONT AND WINDOW ELEVATIONS DRAWING AS 2.
3. HOLLOW METAL DOOR AND FRAME.
4. EXISTING TILT-UP CONCRETE PANELS.
5. 24 GA. PREFINISHED METAL COPING PER DETAIL.
6. CONCRETE BOARD PANEL SIDING W/ REVEALS.
7. DECORATIVE TILE TO MATCH EXISTING BUILDING.
8. OVERHEAD DOOR PER SCHEDULE.
9. CONCRETE FOUNDATION WALL.



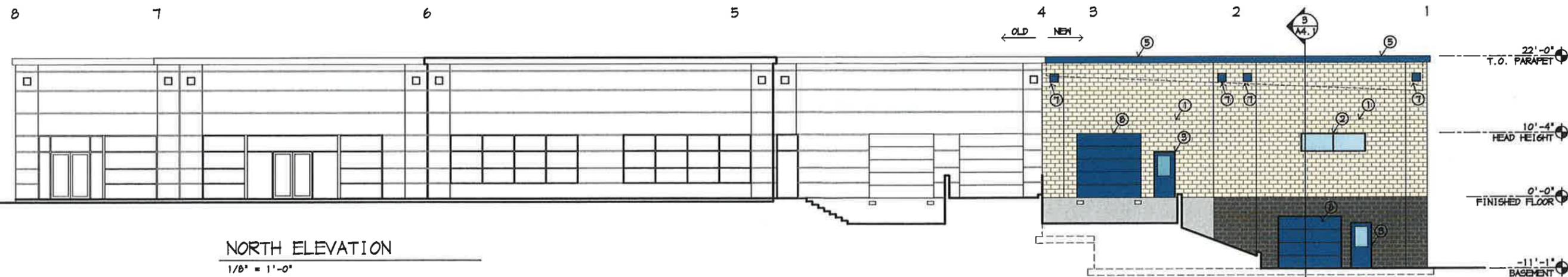
EAST ELEVATION

1/8" = 1'-0"



WEST ELEVATION

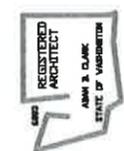
1/8" = 1'-0"



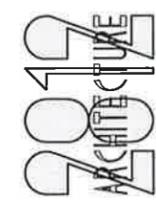
NORTH ELEVATION

1/8" = 1'-0"

| | |
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An Addition for
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Mukilteo, Washington

| | |
|-------------|-------------|
| Drawing: | A3.1 |
| Job Number: | 15c-3578 |

EXTERIOR ELEVATIONS

SEPA ENVIRONMENTAL CHECKLIST

Purpose of checklist:

Governmental agencies use this checklist to help determine whether the environmental impacts of your proposal are significant. This information is also helpful to determine if available avoidance, minimization or compensatory mitigation measures will address the probable significant impacts or if an environmental impact statement will be prepared to further analyze the proposal.

Instructions for applicants:

This environmental checklist asks you to describe some basic information about your proposal. Please answer each question accurately and carefully, to the best of your knowledge. You may need to consult with an agency specialist or private consultant for some questions. You may use "not applicable" or "does not apply" only when you can explain why it does not apply and not when the answer is unknown. You may also attach or incorporate by reference additional studies reports. Complete and accurate answers to these questions often avoid delays with the SEPA process as well as later in the decision-making process.

The checklist questions apply to all parts of your proposal, even if you plan to do them over a period of time or on different parcels of land. Attach any additional information that will help describe your proposal or its environmental effects. The agency to which you submit this checklist may ask you to explain your answers or provide additional information reasonably related to determining if there may be significant adverse impact.

Instructions for Lead Agencies:

Please adjust the format of this template as needed. Additional information may be necessary to evaluate the existing environment, all interrelated aspects of the proposal and an analysis of adverse impacts. The checklist is considered the first but not necessarily the only source of information needed to make an adequate threshold determination. Once a threshold determination is made, the lead agency is responsible for the completeness and accuracy of the checklist and other supporting documents.

The help links in this checklist are intended to assist users in accessing guidance on the checklist questions. Links are provided to the specific sections of the guidance applicable to the questions. However, the links may not work correctly on all devices. If the links do not work on your device, open the guidance at www.ecy.wa.gov/programs/sea/sepa/apguide/EnvChecklistGuidance.html and navigate to the appropriate section.

Use of checklist for nonproject proposals: [\[help\]](#)

For nonproject proposals (such as ordinances, regulations, plans and programs), complete the applicable parts of sections A and B plus the SUPPLEMENTAL SHEET FOR NONPROJECT ACTIONS (part D). Please completely answer all questions that apply and note that the words "project," "applicant," and "property or site" should be read as "proposal," "proponent," and "affected geographic area," respectively. The lead agency may exclude (for non-projects) questions in Part B - Environmental Elements –that do not contribute meaningfully to the analysis of the proposal.

A. Background

1. Name of proposed project, if applicable:

An addition for Wizard International Inc.

2. Name of applicant:

Joe Messerly
Wizard International Inc.
4600 116th St SW
Mukilteo, WA 98275

3. Address and phone number of applicant and contact person:

Applicant:

Joe Messerly
Wizard International Inc.
4600 116th St SW
Mukilteo, WA 98275

Contact Person:

Adam Clark
2812 architecture
2812 Colby Avenue
Everett, WA 98201
(425) 252-2153

4. Date checklist prepared:

April 18, 2016

5. Agency requesting checklist:

City of Mukilteo

6. Proposed timing or schedule (including phasing, if applicable):

Begin construction Spring 2016

7. Do you have any plans for future additions, expansion, or further activity related to or connected with this proposal? If yes, explain.

No

8. List any environmental information you know about that has been prepared, or will be prepared, directly related to this proposal.

A Geotechnical Analysis has been prepared for this proposal and is attached.

9. Do you know whether applications are pending for governmental approvals of other proposals directly affecting the property covered by your proposal? If yes, explain.

No

10. List any government approvals or permits that will be needed for your proposal, if known.

Building, Mechanical, Electrical, Plumbing, and Land Use Permits will be required. Public Works review will also be required.

11. Give brief, complete description of your proposal, including the proposed uses and the size of the project and site. There are several questions later in this checklist that ask you to describe certain aspects of your proposal. You do not need to repeat those answers on this page. (Lead agencies may modify this form to include additional specific information on project description.)

A 17,000 Sq. Ft. warehouse addition to an existing 22,000 Sq. Ft. warehouse and office space.

12. Location of the proposal. Give sufficient information for a person to understand the precise location of your proposed project, including a street address, if any, and section, township, and range, if known. If a proposal would occur over a range of area, provide the range or boundaries of the site(s). Provide a legal description, site plan, vicinity map, and topographic map, if reasonably available. While you should submit any plans required by the agency, you are not required to duplicate maps or detailed plans submitted with any permit applications related to this checklist.

The project is located at 4600 116th St SW, Mukilteo, WA.

Legal Description:

- 1) Section 21 Township 28 Range 04 Quarter SE HARBOUR POINTE BUSINESS CENTER , NORTH CAMPUS BLK 000 D-00 TH PTN OF LOTS 10 & 19 DAF BEG AT NWLY COR OF SD LOT 10 TH N72 29 06E 20.00FT TO TPOB TH CONTN72 29 06E 78.73FT TO PT OF CURVATURE OF A CRV TO R HAVING A RAD OF 170.00FT TH ELY ALG SD CRV THRU A C/A OF 70 39 26 AN ARC LENGTH OF 209.64FT TH S36 51 28E 54.32FT TO A PT OF CURVATURE OF A CRV TO R HAVING A RAD OF 270.00FT TH SELY ALG SD CRV THRU A C/A OF 23 36 52 AN ARC DIST 111.28FT TH S69 26 20W 272.00FT TH N17 30 54W 288.94FT TO POB - PER SWD REC AFN 9710030421
- 2) Section 21 Township 28 Range 04 Quarter SE HARBOUR POINTE BUSINESS CENTER , NORTH CAMPUS BLK 000 D-00 - (SEG'D FOR TAX PURP ONLY) - TH PTN OF LOTS 10, 11 & 19 OF SD PLAT DAF BEG AT NWLY COR OF SDLOT 10 TH N72 29 06E 20.00FT TO TPOB TH S17 30 54E 288.94FT TO SW COR OF TH CERT TR OF LAND CONVD TO WIZARD INTERNATIONAL INC BY DEED REC AFN 9710030421 TH S69 26 20W 20.03FT TH S72 29 06W 130.21FTTO SE COR OF TH CERT TR OF LAND CONVD TO ALBAR INC BY DEED REC AFN 9212220343 TH N17 30 54W ALG E LN OF SD ALBAR TR 290.00FT TO SLY LN OF 116TH ST SW TH N72 29 06E TO TPOB - PER SWD REC AFN9902170034

B. ENVIRONMENTAL ELEMENTS

1. Earth

a. General description of the site:

Generally Flat

(circle one): **Flat**, rolling, hilly, steep slopes, mountainous, other _____

b. What is the steepest slope on the site (approximate percent slope)?

The average slope of the site is in the range of 2%-7%.

c. What general types of soils are found on the site (for example, clay, sand, gravel, peat, muck)? If you know the classification of agricultural soils, specify them and note any agricultural land of long-term commercial significance and whether the proposal results in removing any of these soils.

Silt and fine sand

d. Are there surface indications or history of unstable soils in the immediate vicinity? If so, describe.

No

e. Describe the purpose, type, total area, and approximate quantities and total affected area of any filling, excavation, and grading proposed. Indicate source of fill.

The intent of the grading on this project will be to balance out the cut and fill operations on the site. Approximately 3000 cu. yds. of soil import or export may be required in order to grade the site appropriately. Imported soil will come from a local pit of the contractors choice. Exported soil will be disposed of at a local location of the contractors choice.

f. Could erosion occur as a result of clearing, construction, or use? If so, generally describe.

None anticipated

g. About what percent of the site will be covered with impervious surfaces after project construction (for example, asphalt or buildings)?

Approximately 70% of the site will be covered with impervious surfaces.

h. Proposed measures to reduce or control erosion, or other impacts to the earth, if any:

Erosion control measures as required by the City of Mukilteo will be installed and maintained during construction.

2. Air

- a. **What types of emissions to the air would result from the proposal during construction, operation, and maintenance when the project is completed? If any, generally describe and give approximate quantities if known.**

Minor amounts of dust could be generated during construction. Emissions will be from vehicle exhaust and dust during construction. Automobile exhaust will exist after the project is complete. Emission quantities are unknown, but are not expected to be unusual for facility of this nature.

- b. **Are there any off-site sources of emissions or odor that may affect your proposal? If so, generally describe.**

None known

- c. **Proposed measures to reduce or control emissions or other impacts to air, if any:**

None

3. Water

- a. **Surface Water:**

- 1) **Is there any surface water body on or in the immediate vicinity of the site (including year-round and seasonal streams, saltwater, lakes, ponds, wetlands)? If yes, describe type and provide names. If appropriate, state what stream or river it flows into.**

No

- 2) **Will the project require any work over, in, or adjacent to (within 200 feet) the described waters? If yes, please describe and attach available plans.**

N/A

- 3) **Estimate the amount of fill and dredge material that would be placed in or removed from surface water or wetlands and indicate the area of the site that would be affected. Indicate the source of fill material.**

N/A

- 4) Will the proposal require surface water withdrawals or diversions? Give general description, purpose, and approximate quantities if known.

No

- 5) Does the proposal lie within a 100-year floodplain? If so, note location on the site plan.

No

- 6) Does the proposal involve any discharges of waste materials to surface waters? If so, describe the type of waste and anticipated volume of discharge.

No

b. Ground Water:

- 1) Will groundwater be withdrawn from a well for drinking water or other purposes? If so, give a general description of the well, proposed uses and approximate quantities withdrawn from the well. Will water be discharged to groundwater? Give general description, purpose, and approximate quantities if known.

No

- 2) Describe waste material that will be discharged into the ground from septic tanks or other sources, if any (for example: Domestic sewage; industrial, containing the following chemicals. . . ; agricultural; etc.). Describe the general size of the system, the number of such systems, the number of houses to be served (if applicable), or the number of animals or humans the system(s) are expected to serve.

None

c. Water runoff (including stormwater):

- 1) Describe the source of runoff (including storm water) and method of collection and disposal, if any (include quantities, if known). Where will this water flow? Will this water flow into other waters? If so, describe.

Storm water will be generated from impermeable areas of the site. Runoff from all areas will be routed through a storm water system as required by the City of Mukilteo.

2) Could waste materials enter ground or surface waters? If so, generally describe.

Yes, normal usage of the site could contribute automotive fluids and solids to the water system. A city approved treatment and discharge system will effectively treat normal usage to acceptable levels. Accidental spills of waste materials can be controlled and cleaned up before entering the drainage system.

3) Does the proposal alter or otherwise affect drainage patterns in the vicinity of the site? If so, describe.

No

d. Proposed measures to reduce or control surface, ground, and runoff water, and drainage pattern impacts, if any:

Storm water impacts will be controlled by application of the requirements of the City of Mukilteo storm water regulations.

4. Plants

a. Check the types of vegetation found on the site:

- deciduous tree: alder, maple, aspen, other**
- evergreen tree: fir, cedar, pine, other**
- shrubs**
- grass**
- pasture**
- crop or grain**
- Orchards, vineyards or other permanent crops.**
- wet soil plants: cattail, buttercup, bullrush, skunk cabbage, other**
- water plants: water lily, eelgrass, milfoil, other**
- other types of vegetation**

b. What kind and amount of vegetation will be removed or altered?

Grass will be removed

c. List threatened and endangered species known to be on or near the site.

None known

- d. Proposed landscaping, use of native plants, or other measures to preserve or enhance vegetation on the site, if any:**

Landscaping will be installed as required by the City of Mukilteo.

- e. List all noxious weeds and invasive species known to be on or near the site.**

None known

5. Animals

- a. List any birds and other animals which have been observed on or near the site or are known to be on or near the site.**

None known

- b. List any threatened and endangered species known to be on or near the site.**

None known

- c. Is the site part of a migration route? If so, explain.**

Unknown

- d. Proposed measures to preserve or enhance wildlife, if any:**

None

- e. List any invasive animal species known to be on or near the site.**

None known

6. Energy and Natural Resources

- a. What kinds of energy (electric, natural gas, oil, wood stove, solar) will be used to meet the completed project's energy needs? Describe whether it will be used for heating, manufacturing, etc.**

Electricity will be used for lighting and operations. Natural Gas will be used for heating and cooling.

- b. Would your project affect the potential use of solar energy by adjacent properties?
If so, generally describe.**

No

- c. What kinds of energy conservation features are included in the plans of this proposal? List other proposed measures to reduce or control energy impacts, if any:**

The project will meet the requirements of the Washington State Energy Code.

7. Environmental Health

- a. Are there any environmental health hazards, including exposure to toxic chemicals, risk of fire and explosion, spill, or hazardous waste, that could occur as a result of this proposal?
If so, describe.**

Environmental health hazards typically associated with heavy construction may be present during construction. Limited hazards are expected after completion of the project.

- 1) Describe any known or possible contamination at the site from present or past uses.**

None known

- 2) Describe existing hazardous chemicals/conditions that might affect project development and design. This includes underground hazardous liquid and gas transmission pipelines located within the project area and in the vicinity.**

None known

- 3) Describe any toxic or hazardous chemicals that might be stored, used, or produced during the project's development or construction, or at any time during the operating life of the project.**

None known

- 4) Describe special emergency services that might be required.**

Existing fire and medical services should be adequate.

5) Proposed measures to reduce or control environmental health hazards, if any:

No unusual or special measures other than normal safety techniques are proposed.

b. Noise

1) What types of noise exist in the area which may affect your project (for example: traffic, equipment, operation, other)?

Traffic noise from adjacent streets, occasional aircraft noise from Paine Field.

2) What types and levels of noise would be created by or associated with the project on a short-term or a long-term basis (for example: traffic, construction, operation, other)? Indi-cate what hours noise would come from the site.

Short-term noise increases during business hours will occur during construction of the project. Noise created by the proposal would be normal vehicle noise during weekday working hours.

3) Proposed measures to reduce or control noise impacts, if any:

As required by the City of Mukilteo noise ordinance.

8. Land and Shoreline Use

a. What is the current use of the site and adjacent properties? Will the proposal affect current land uses on nearby or adjacent properties? If so, describe.

The western portion of the site is currently vacant. A warehouse/office building is located on the easterly portion of the site. Adjacent existing uses are industrial and business.

b. Has the project site been used as working farmlands or working forest lands? If so, describe. How much agricultural or forest land of long-term commercial significance will be converted to other uses as a result of the proposal, if any? If resource lands have not been designated, how many acres in farmland or forest land tax status will be converted to nonfarm or nonforest use?

No

1) Will the proposal affect or be affected by surrounding working farm or forest land normal business operations, such as oversize equipment access, the application of pesticides, tilling, and harvesting? If so, how:

No

c. Describe any structures on the site.

A tilt-up concrete building that houses the existing facility is currently on the site. This building is intended to remain.

d. Will any structures be demolished? If so, what?

No

e. What is the current zoning classification of the site?

IP Industrial Park

f. What is the current comprehensive plan designation of the site?

Industrial

g. If applicable, what is the current shoreline master program designation of the site?

N/A

h. Has any part of the site been classified as a critical area by the city or county? If so, specify.

No

i. Approximately how many people would reside or work in the completed project?

Approximately 40 people

j. Approximately how many people would the completed project displace?

None

k. Proposed measures to avoid or reduce displacement impacts, if any:

N/A

l. Proposed measures to ensure the proposal is compatible with existing and projected land uses and plans, if any:

The project will comply with federal, state and local zoning and comprehensive plan regulations and policies.

m. Proposed measures to ensure the proposal is compatible with nearby agricultural and forest lands of long-term commercial significance, if any:

N/A

9. Housing

a. Approximately how many units would be provided, if any? Indicate whether high, middle, or low-income housing.

None

b. Approximately how many units, if any, would be eliminated? Indicate whether high, middle, or low-income housing.

None

c. Proposed measures to reduce or control housing impacts, if any:

N/A

10. Aesthetics

a. What is the tallest height of any proposed structure(s), not including antennas; what is the principal exterior building material(s) proposed?

The tallest height of the proposed structure will be approximately 22'-0" above finished floor. The principal building materials are concrete and glass.

b. What views in the immediate vicinity would be altered or obstructed?

None

c. Proposed measures to reduce or control aesthetic impacts, if any:

The project will be constructed in accordance with the City of Mukilteo zoning and building code requirements.

11. Light and Glare

a. What type of light or glare will the proposal produce? What time of day would it mainly occur?

Parking lot lighting will be produced in the night hours. This may include some exterior area lighting around the building, landscape, and roadways.

b. Could light or glare from the finished project be a safety hazard or interfere with views?

Not anticipated

c. What existing off-site sources of light or glare may affect your proposal?

None

d. Proposed measures to reduce or control light and glare impacts, if any:

Lighting will be shielded from spilling off site.

12. Recreation

a. What designated and informal recreational opportunities are in the immediate vicinity?

Harbor Point Golf course, Harbour Point Village Park

b. Would the proposed project displace any existing recreational uses? If so, describe.

No

c. Proposed measures to reduce or control impacts on recreation, including recreation opportunities to be provided by the project or applicant, if any:

None

13. Historic and cultural preservation

a. Are there any buildings, structures, or sites, located on or near the site that are over 45 years old listed in or eligible for listing in national, state, or local preservation registers located on or near the site? If so, specifically describe.

No

b. Are there any landmarks, features, or other evidence of Indian or historic use or occupation? This may include human burials or old cemeteries. Are there any material

evidence, artifacts, or areas of cultural importance on or near the site? Please list any professional studies conducted at the site to identify such resources.

No

- c. Describe the methods used to assess the potential impacts to cultural and historic resources on or near the project site. Examples include consultation with tribes and the department of archeology and historic preservation, archaeological surveys, historic maps, GIS data, etc.

None

- d. Proposed measures to avoid, minimize, or compensate for loss, changes to, and disturbance to resources. Please include plans for the above and any permits that may be required.

None are proposed. In the event that construction activities encounter historic or cultural artifacts, construction will be halted and a qualified archeologist will be consulted.

14. Transportation

- a. Identify public streets and highways serving the site or affected geographic area and describe proposed access to the existing street system. Show on site plans, if any.

The site is served from 116th St SW and will be accessed from the existing entrance.

- b. Is the site or affected geographic area currently served by public transit? If so, generally describe. If not, what is the approximate distance to the nearest transit stop?

The site is not currently served by transit. The nearest stop is at the intersection of Chennault Beach Road and Harbor Reach Dr. The stop is 0.31 approximate miles from the project site.

- c. How many additional parking spaces would the completed project or non-project proposal have? How many would the project or proposal eliminate?

This project would add four additional stalls to the overall existing site.

- d. Will the proposal require any new or improvements to existing roads, streets, pedestrian, bicycle or state transportation facilities, not including driveways? If so, generally describe (indicate whether public or private).

No

e. Will the project or proposal use (or occur in the immediate vicinity of) water, rail, or air transportation? If so, generally describe.

No

f. How many vehicular trips per day would be generated by the completed project or proposal? If known, indicate when peak volumes would occur and what percentage of the volume would be trucks (such as commercial and nonpassenger vehicles). What data or transportation models were used to make these estimates?

It is unknown at this time how many vehicular trips per day the completed project will produce. It is not anticipated that the amount of trips or volumes produced will exceed those in the transportation manual.

g. Will the proposal interfere with, affect or be affected by the movement of agricultural and forest products on roads or streets in the area? If so, generally describe.

No

h. Proposed measures to reduce or control transportation impacts, if any:

Payment of traffic impact mitigation fees as required by the City of Mukilteo.

15. Public Services

a. Would the project result in an increased need for public services (for example: fire protection, police protection, public transit, health care, schools, other)? If so, generally describe.

Minimal impact to public services could be expected. Likely impacts will be the use of fire and police services.

b. Proposed measures to reduce or control direct impacts on public services, if any.

Impact fees as may be required at issuance of building permits. Additional impacts will be addressed through taxes and special levies as they occur.

16. Utilities

a. Circle utilities currently available at the site:

electricity, natural gas, water, refuse service, telephone, sanitary sewer, septic system,
other _____

3. How would the proposal be likely to deplete energy or natural resources?

Proposed measures to protect or conserve energy and natural resources are:

4. How would the proposal be likely to use or affect environmentally sensitive areas or areas designated (or eligible or under study) for governmental protection; such as parks, wilderness, wild and scenic rivers, threatened or endangered species habitat, historic or cultural sites, wetlands, floodplains, or prime farmlands?

Proposed measures to protect such resources or to avoid or reduce impacts are:

5. How would the proposal be likely to affect land and shoreline use, including whether it would allow or encourage land or shoreline uses incompatible with existing plans?

Proposed measures to avoid or reduce shoreline and land use impacts are:

6. How would the proposal be likely to increase demands on transportation or public services and utilities?

Proposed measures to reduce or respond to such demand(s) are:

7. Identify, if possible, whether the proposal may conflict with local, state, or federal laws or requirements for the protection of the environment.